



**CITY OF CREEDMOOR  
PLANNING BOARD  
PLANNING BOARD MEETING  
JANUARY 30, 2024  
6:00 PM**

**CALL TO ORDER**

1. RECOGNITION OF QUORUM
2. APPROVAL OF AGENDA
3. NEW BUSINESS

[LSP-2023-02 | David Miller & Associates 109 Park Avenue | Michael S. Frangos AICP, CZO](#)

**ADJOURN**



# CITY OF CREEDMOOR

P.O. BOX 765  
111 MASONIC STREET  
CREEDMOOR, NC 27522  
WWW.CITYOFCREEDMOOR.ORG  
(919) 528-3332

## PLANNING BOARD AGENDA REPORT

**MEETING DATE:** January 30, 2024

**PREPARED BY:** Mike Frangos, Community Development Director  
Community Development

**ISSUE CONSIDERED:** LSP-2023-02 | David Miller & Associates 109 Park Avenue |  
Michael S. Frangos AICP, CZO

### SUMMARY OF ISSUE:

Large site development plan (LSP) review is required for changes of use of office or institutional buildings, structures, or developments with a gross floor area of more than 5,000 square feet (CDO §7.7-1 A. 1. b). David Miller and Associates, on behalf of property owner BeeKee Ventures, Inc at 109 Park Avenue is proposing a major renovation of the building on lot 3 of the Colony Square subdivision.

The Creedmoor Development Ordinance (CDO) requires that public notification be made to nearby property owners and that they have an opportunity to view and comment on the proposal. Letters were mailed and the site was posted on January 23, 2024; seven days before the scheduled joint public meeting of the Planning Board and Board of Commissioners. Please see evidence of public notice attached.

The Planning Board shall review the site plan for compliance with the requirements of the CDO and any other applicable ordinances and laws. The Technical Review Committee's review memo is also included for your review. The Planning Board shall make a

recommendation and include any comments to the Board of Commissioners prior to their deliberations and formal review.

The Board of Commissioners makes the final review and ministerial approval or denial of the site plan.

**REQUESTED MOTION:** Motion to recommend approval of LSP-2023-02 to the Board of Commissioners.

**ATTACHMENT(S)** [Joint PB & BOC\\_public notification package\\_20240130.pdf](#)  
[109 Park Avenue Site Plan\\_20240108-Set.pdf](#)  
[LSP202302\\_Review Memo.pdf](#)  
[General Warranty Deed\\_1948-108.pdf](#)  
[109 Park Ave AppraisalCard.pdf](#)

**REVIEWED BY  
CITY MANAGER:**



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P.O. BOX 765  
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(919) 528-3332

**MAYOR**  
ROBERT V. WHEELER

**CITY MANAGER**  
MICHAEL O. TURNER

**COMMISSIONERS**  
EMMA ALBRIGHT  
ED GLEASON  
GEORGANA KICINSKI  
ROBERT WAY  
ARCHER WILKINS

## **PUBLIC NOTICE OF LARGE SITE PLAN APPLICATION** **LSP-2023-02, DAVID MILLER & ASSOCIATES - 109 PARK AVENUE**

PUBLIC NOTICE IS HEREBY GIVEN that the City of Creedmoor Planning Board and Board of Commissioners will hold a joint meeting to discuss the large site redevelopment of 109 Park Avenue.

The meeting will be held on Tuesday, January 30, 2024, at 6:00 PM for the Planning Board and at 6:30 PM for the Board of Commissioners. The meeting will be held at the:

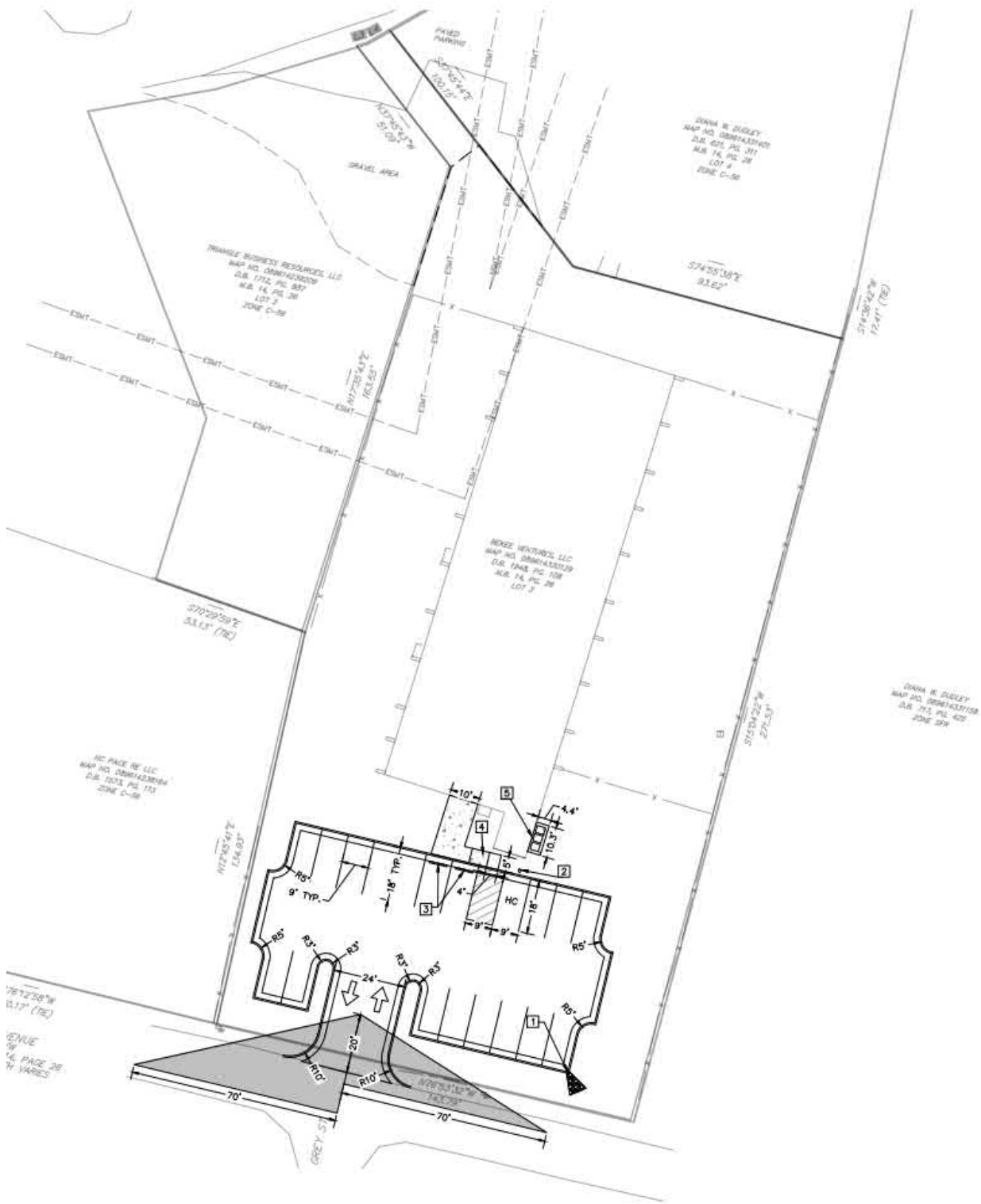
Creedmoor City Hall  
*Board Room*  
111 Masonic St.  
Creedmoor, NC 27522-0765

The public is invited to attend the meeting to share comments concerning the proposed large site redevelopment.

- **PROPERTY MAP #: 089614330129**
- **LOCATION: 109 Park Avenue, Creedmoor, NC 27522**
- **LSP-2023-02: Proposed development of medical, dental or related offices**
- **See excerpt of site plan on reverse side**

The public can discuss questions before the meeting with Community Development Staff by calling (919) 764-1016 or emailing [planning@cityofcreedmoor.org](mailto:planning@cityofcreedmoor.org).





BY	PROJECT	ZAGILB
	DATE	DEC 2023
	DESIGNED	JOJ
	DRAWN	JOJ
	CHECKED	EM
	SCALE	AS NOTED
	SURVEYED	

THE SCALE BAR SHOWN BELOW MEASURES ONE INCH LONG ON THE ORIGINAL DRAWING.



**DAVIS • MARTIN • POWELL**  
ENGINEERS & SURVEYORS **dmp**

6415 OLD PLANK RD, HIGH POINT, NC 27265 | T: (336) 886-4821 | F: (336) 886-4458 | WWW.DMP-NC.COM | LICENSE: F-0245



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**MAYOR**  
 ROBERT V. WHEELER  
**CITY MANAGER**  
 MIKE TURNER

**COMMISSIONERS**  
 EMMA ALBRIGHT  
 EDWARD GLEASON  
 GEORGANA KICINSKI  
 ROBERT WAY  
 ARCHER WILKINS

## CERTIFICATE

## OF MAILING

I HEREBY CERTIFY that on the date shown below, a true and correct copy of the foregoing Public Notice for the development of Large Site Plan Application, David Miller & Associates – 109 Park Ave. (LSP-2023-02) was mailed postage prepaid in a sealed envelope, from the United States Post Office located in Creedmoor, NC to the following interested parties:

NAME	ADDRESS	CITY	ZIP CODE
CVS HEALTH	1 CVS DR	WOONSOCKET RI	02895
CVS PHARMACY	612 N MAIN ST	CREEDMOOR NC	27522
TAU NC1 LP	11995 EL CAMINO REAL	SAN DIEGO CA	92130
MAYAS MANAGEMENT LLC	PO BOX 1134	WAKE FOREST NC	27588
BEKEE VENTURES LLC	503 W MCGEE ST	GREENSBORO NC	27401
BEKEE VENTURES LLC	109 PARK AVE	CREEDMOOR NC	27522
DIANE LEE BELL	209 PARK AVE	CREEDMOOR NC	27522
CREEDMOOR UNITED METHODIST CHURCH	PO BOX 368	CREEDMOOR NC	27522
CREEDMOOR UNITED METHODIST CHURCH	208 PARK AVE	CREEDMOOR NC	27522
CHEMIS STANFIELD	PO BOX 588	CREEDMOOR NC	27522
NC PACE RE LLC	17 CHURCH ST	ASHEVILLE NC	28801
BLAKE B BURD	2429 HENNING DR	RALEIGH NC	27615
TRIANGLE BUSINESS RESOURCES LLC	PO BOX 90427	RALEIGH NC	27675
CREEDMOOR LYONS CLUB	2647 BENNET RD	CREEDMOOR NC	27522
DIANA W DUDLEY	PO BOX 429	CREEDMOOR NC	27522
FIVE W ONE LLC	607 FOREST LN	CREEDMOOR NC	27522
HASKINS E ELLIOTT & SHIRLEY W ELLIOTT	103 PARK AVE	CREEDMOOR NC	27522
MICHAEL STEPHEN CHAPPEL	PO BOX 805	CREEDMOOR NC	27522
MORGAN FLANNIGAN	108 PARK AVE	CREEDMOOR NC	27522
PAUL DEAN BAKER & CHARLOTTE A BAKER	PO BOX 813	CREEDMOOR NC	27522
THOMAS L MCGUINNESS & DIANE C MCGUINNESS	207 PARK AVE	CREEDMOOR NC	27522
422 NORTH MAIN LLC	338 W SALISBURY ST	PITTSBORO NC	27312
RBC BANK/PNC BANK	130 S JEFFERSON ST STE 300	CHICAGO IL	60661

Dated this the 23rd day of January, 2024.

*Barbara Rouse*

Barbara Rouse, City Clerk

MICHAEL FRANGOS, AICP, CZO  
C/O CITY OF CREEDMOOR  
PO BOX 765  
CREEDMOOR NC 27522-0765

CREEDMOOR  
PLANNING DEPARTMENT  
OPEN IMMEDIATELY



CHEMIS STANFIELD  
PO BOX 588  
CREEDMOOR NC 27522-0588

MICHAEL FRANGOS, AICP, CZO  
C/O CITY OF CREEDMOOR  
PO BOX 765  
CREEDMOOR NC 27522-0765

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CREEDMOOR UNITED METHODIST CHURCH  
208 PARK AVE  
CREEDMOOR NC 27522-9798

MICHAEL FRANGOS, AICP, CZO  
C/O CITY OF CREEDMOOR  
PO BOX 765  
CREEDMOOR NC 27522-0765

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DIANE LEE BELL  
209 PARK AVE  
CREEDMOOR NC 27522-9752

MICHAEL FRANGOS, AICP, CZO  
C/O CITY OF CREEDMOOR  
PO BOX 765  
CREEDMOOR NC 27522-0765

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MAYAS MANAGEMENT LLC  
PO BOX 1134  
WAKE FOREST NC 27588-1134

MICHAEL FRANGOS, AICP, CZO  
C/O CITY OF CREEDMOOR  
PO BOX 765  
CREEDMOOR NC 27522-0765

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TAU NCI LP  
11995 EL CAMINO REAL  
SAN DIEGO CA 92130-2539

MICHAEL FRANGOS, AICP, CZO  
C/O CITY OF CREEDMOOR  
PO BOX 765  
CREEDMOOR NC 27522-0765

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CVS PHARMACY  
612 N MAIN ST  
CREEDMOOR NC 27522-9719

MICHAEL FRANGOS, AICP, CZO  
C/O CITY OF CREEDMOOR  
PO BOX 765  
CREEDMOOR NC 27522-0765

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FIVE W ONE LLC  
607 FOREST LN  
CREEDMOOR NC 27522-9125

MICHAEL FRANGOS, AICP, CZO  
C/O CITY OF CREEDMOOR  
PO BOX 765  
CREEDMOOR NC 27522-0765

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HASKINS E ELLIOTT & SHIRLEY W ELLIOTT  
103 PARK AVE  
CREEDMOOR NC 27522-9751

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C/O CITY OF CREEDMOOR  
PO BOX 765  
CREEDMOOR NC 27522-0765

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BEKEE VENTURES LLC  
503 W MCGEE ST  
GREENSBORO NC 27401-2702

MICHAEL FRANGOS, AICP, CZO  
C/O CITY OF CREEDMOOR  
PO BOX 765  
CREEDMOOR NC 27522-0765

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MORGAN FLANNIGAN  
108 PARK AVE  
CREEDMOOR NC 27862-1089

MICHAEL FRANGOS, AICP, CZO  
C/O CITY OF CREEDMOOR  
PO BOX 765  
CREEDMOOR NC 27522-0765

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THOMAS L MCGUINNESS & DIANE C MCGUINNESS  
207 PARK AVENUE  
CREEDMOOR NC 27522-9752

MICHAEL FRANGOS, AICP, CZO  
C/O CITY OF CREEDMOOR  
PO BOX 765  
CREEDMOOR NC 27522-0765

CREEDMOOR  
PLANNING DEPARTMENT  
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NC PACE RE LLC  
17 CHURCH ST  
ASHEVILLE NC 28801-3301

MICHAEL FRANGOS, AICP, CZO  
C/O CITY OF CREEDMOOR  
PO BOX 765  
CREEDMOOR NC 27522-0765

CREEDMOOR  
PLANNING DEPARTMENT  
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CVS HEALTH  
1 CVS DR  
WOONSOCKET RI 02895-6146

MICHAEL FRANGOS, AICP, CZO  
C/O CITY OF CREEDMOOR  
PO BOX 765  
CREEDMOOR NC 27522-0765

CREEDMOOR  
PLANNING DEPARTMENT  
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CREEDMOOR UNITED METHODIST CHURCH  
PO BOX 368  
CREEDMOOR NC 27522-0368

MICHAEL FRANGOS, AICP, CZO  
C/O CITY OF CREEDMOOR  
PO BOX 765  
CREEDMOOR NC 27522-0765

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BLAKE B BURD  
2429 HENNING DR  
RALEIGH NC 27615-1154

MICHAEL FRANGOS, AICP, CZO  
C/O CITY OF CREEDMOOR  
PO BOX 765  
CREEDMOOR NC 27522-0765

CREEDMOOR  
PLANNING DEPARTMENT  
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TRIANGLE BUSINESS RESOURCES LLC  
PO BOX 90427  
RALEIGH NC 27675-0427

MICHAEL FRANGOS, AICP, CZO  
C/O CITY OF CREEDMOOR  
PO BOX 765  
CREEDMOOR NC 27522-0765

CREEDMOOR  
PLANNING DEPARTMENT  
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DIANA W DUDLEY  
P O BOX 429  
CREEDMOOR NC 27522-0429

MICHAEL FRANGOS, AICP, CZO  
C/O CITY OF CREEDMOOR  
PO BOX 765  
CREEDMOOR NC 27522-0765

CREEDMOOR  
PLANNING DEPARTMENT  
OPEN IMMEDIATELY



RBC BANK/PNC BANK  
130 S JEFFERSON ST STE 300  
CHICAGO IL 60661-5763

Vertical strip of envelopes on the right side of the page, each with a postage meter stamp and recipient address. Visible addresses include: 422 NORTH MAIN LITE, 129 PARK AVE, BEKEE VENTURES LLC, PAUL DEAN BAKER & CAMILLOTTE A BAKER, CREEDMOOR HONS CLUB, MICHAEL STEPHEN CHAPPELL, and CREEDMOOR NC DEPARTMENT. Each envelope also features a 'CREEDMOOR PLANNING DEPARTMENT OPEN IMMEDIATELY' label and a 'US POSTAGE' meter stamp for \$0.00.64.





109 Park Ave - Posted on Douglas Dr





109 Park Ave - Posted in front of 109 Park Ave : Img 1





109 Park Ave - Posted in front of 109 Park Ave : Img 2

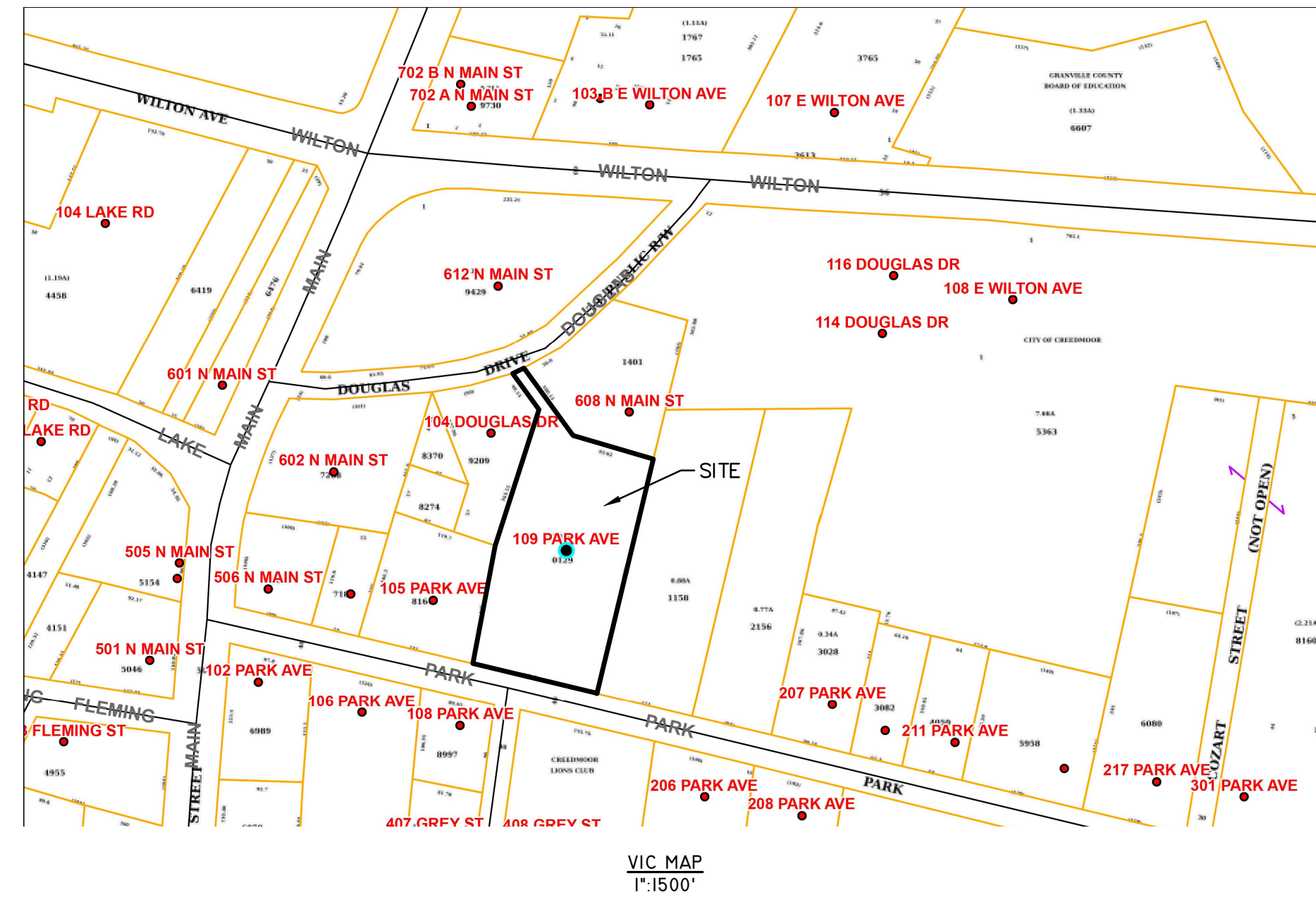


# DAVID MILLER ASSOCIATES - CREEDMOOR SITE

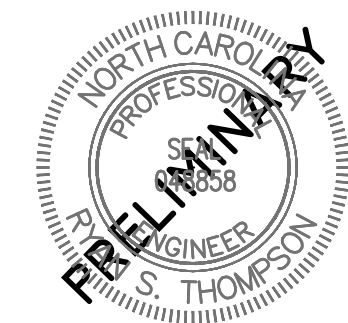
## 109 PARK AVE

### CITY OF CREEDMOOR, GRANVILLE COUNTY

### CREEDMOOR, NORTH CAROLINA



DMP PROJECT 230140  
JANUARY 2024



#### INDEX

Sheet Number	Sheet Title
C0.0	COVER
C1.0	EXISTING CONDITIONS & DEMOLITION PLAN
C2.0	SITE PLAN
C2.1	PAVING PLAN
C3.0	GRADING & UTILITY PLAN
C4.0	INITIAL EROSION CONTROL PLAN
C4.1	FINAL EROSION CONTROL PLAN
C5.0	STANDARD DETAILS
C5.1	STANDARD DETAILS
C5.2	EROSION CONTROL DETAILS
L.0	LANDSCAPE PLAN

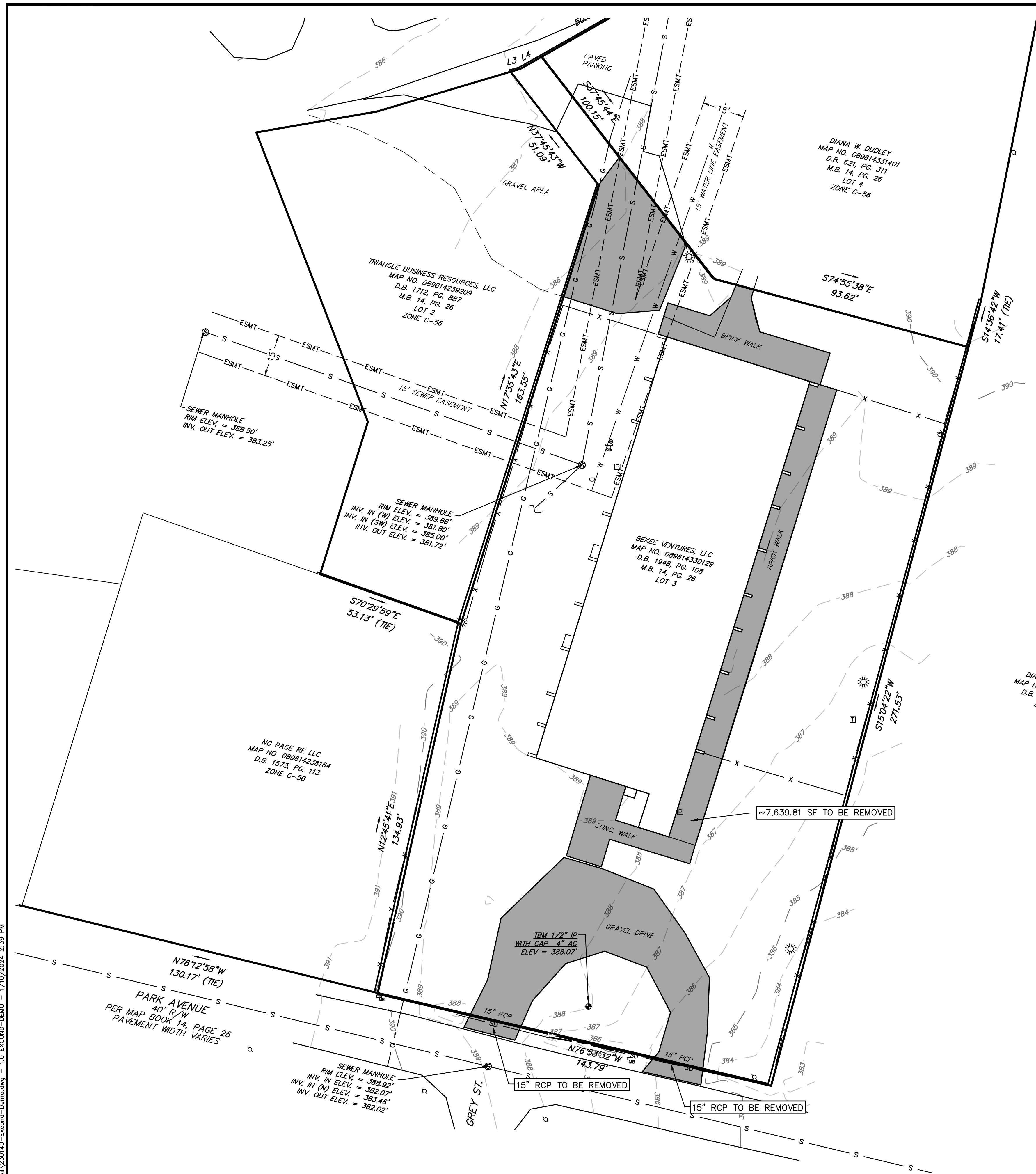
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ENGINEERS & SURVEYORS **dmp**

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**DEMOLITION NOTES:**

1. THE CONTRACTOR SHALL ENSURE THAT ALL REQUIRED PERMITS ARE APPROVED PRIOR TO BEGINNING ANY DEMOLITION WORK.
2. PRIOR TO BEGINNING DEMOLITION THE CONTRACTOR SHALL ENSURE THAT ALL NECESSARY SAFETY MEASURES ARE INSTALLED TO PROTECT THE OWNER'S PROPERTY, PEOPLE, VEHICLES, AND THE PUBLIC IN GENERAL.
3. ALL HAZARDOUS MATERIALS SHALL BE HAULED OFF-SITE LEGALLY, ON AN OWNER APPROVED ROUTE, AND DISPOSED OF LEGALLY AT A LANDFILL PERMITTED TO ACCEPT THE SPECIFIC HAZARDOUS MATERIAL.
4. DEMOLITION WORK SHALL BE PERFORMED DURING HOURS OF OPERATION AS APPROVED BY THE OWNER'S REPRESENTATIVE.
5. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE THE TYPE AND QUANTITY OF ALL SALVAGEABLE MATERIALS. THE CONTRACTOR SHALL ONLY HAUL-OFF THE SALVAGEABLE MATERIAL AS APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
6. ALL DEMOLITION WORK SHALL MEET THE MINIMUM REQUIREMENTS OF OSHA, FEDERAL LAWS, STATE LAWS, AND LOCAL LAWS. THE STRICTER SHALL GOVERN.
7. PRIOR TO BEGINNING DEMOLITION, THE CONTRACTOR SHALL ENSURE PHASE I SEDIMENT AND EROSION CONTROL MEASURES ARE INSTALLED (CONSTRUCTION ENTRANCE, PERIMETER SILT FENCE, ETC.)
8. THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO THE SURROUNDING PROPERTIES AT ALL TIMES. UTILITY SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE OWNER'S CONSTRUCTION REPRESENTATIVE AND COORDINATION WITH ADJACENT PROPERTY OWNERS.
9. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
10. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
11. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION, AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
12. DAMAGE TO ANY EXISTING CONDITIONS TO REMAIN/RELOCATED WILL BE REPLACED/REPAIRED AT CONTRACTOR'S EXPENSE.

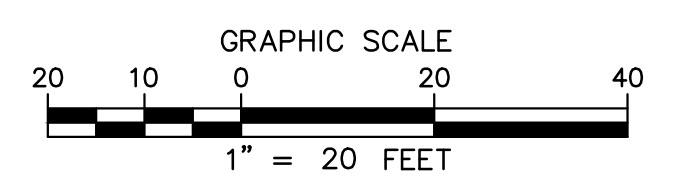
**SURVEY LEGEND**

- BENCHMARK
- CATCH BASIN
- CLEAN OUT
- DROP INLET
- ELECTRIC MANHOLE
- GAS MANHOLE
- GAS VALVE
- GAS METER
- HYDRANT
- EXISTING IRON PIPE
- JUNCTION BOX
- LAMP
- MAILBOX
- MONUMENT
- NEW IRON PIPE
- POWER PEDESTAL
- POLE
- SANITARY MANHOLE
- SHRUB
- SIGN
- STORM DRAINAGE MANHOLE
- TELEPHONE PEDESTAL
- TREE
- WATER METER
- WATER MANHOLE
- WATER VALVE
- WELL
- COMPUTED POINT

**DEMOLITION LEGEND**

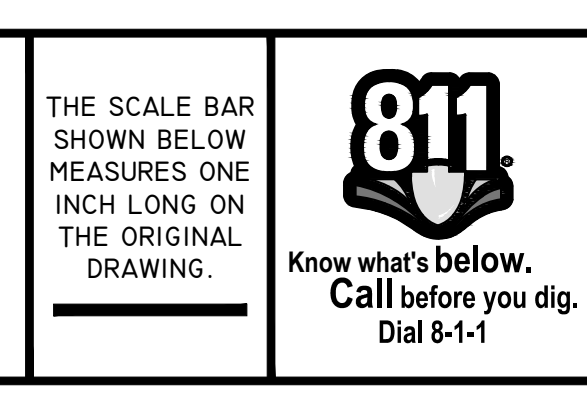
- TO BE REMOVED
- TO BE REMOVED

- ADJOINER LINE
- UTILITY EASEMENT
- FENCE LINE
- LINE SURVEYED
- OVERHEAD POWER
- RAILROAD TRACKS
- RIGHT OF WAY
- SANITARY SEWER
- STORM SEWER
- TREE LINE
- WATER LINE



REV	DATE	DESCRIPTION	BY	PROJECT	230140
1				DATE	DEC 2023
2				DESIGNED	JDJ
3				DRAWN	JDJ
4				CHECKED	EM
5				SCALE	AS NOTED
6				SURVEYED	

THE SCALE BAR SHOWN BELOW MEASURES ONE INCH LONG ON THE ORIGINAL DRAWING.



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**ENGINEERS & SURVEYORS**

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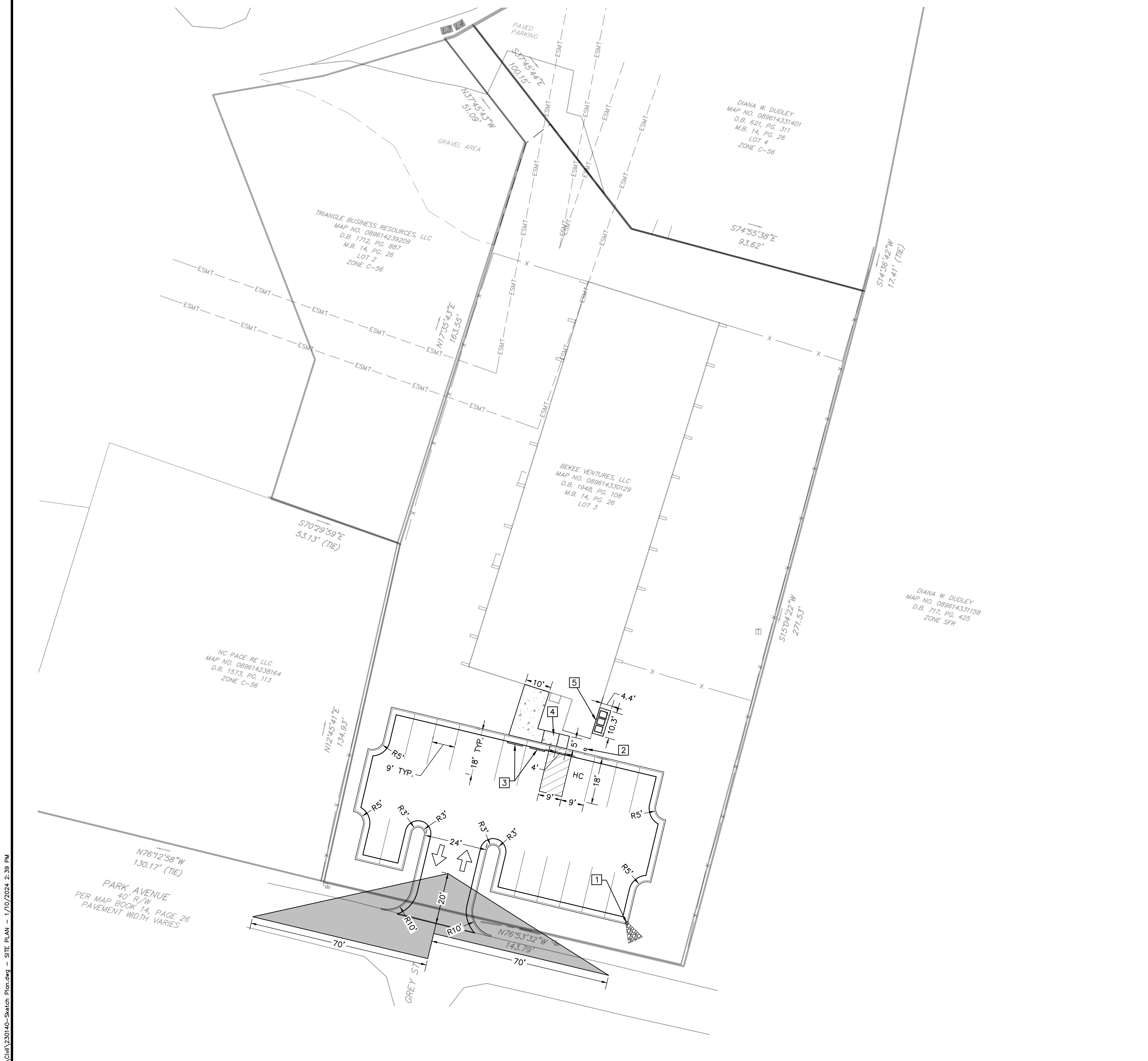


**PRELIMINARY**  
 FOR REVIEW ONLY  
 NOT FOR CONSTRUCTION

**EXISTING CONDITIONS & DEMOLITION PLAN**  
**CREEDMOOR SITE**  
 DAVID MILLER ASSOCIATES  
 109 PARK AVE  
 CREEDMOOR, NORTH CAROLINA, 27522

SHEET NO.  
  
 OF



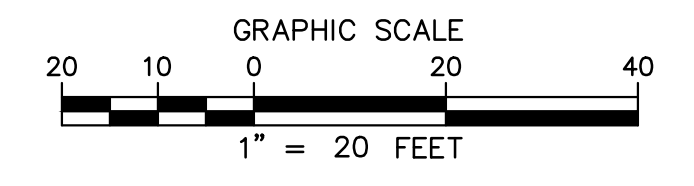


- GENERAL NOTES:**
- OWNER: DAVID MILLER & ASSOCIATES LLC/BEKEE VENTURES LLC  
11330 VANSTORY DRIVE  
HUNTERVILLE, NC 28078
  - SITE ADDRESS: 109 PARK AVE
  - PARCEL NO: 089614330129
  - DEED REF: DB 1948 PG 0108
  - PLAT REF: PB 14 PG 26
  - EXISTING ZONING: C-56
  - PROPOSED USE: MEDICAL OFFICE (C-56)
  - WATERSHED: FALLS LAKE, WS-IV NSW
  - AREA OF TRACT: ± 0.94 ACRES
  - BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY BY DAVIS-MARTIN-POWELL DATED 11/10/2023.
  - THIS PROPERTY IS LOCATED WITHIN A ZONE X MINIMAL FLOOD HAZARD AREA AS SCALED FROM MAPS BY FEMA DATED JUNE SEE COMMUNITY PANEL #370107 0869 K FOR GRANVILLE COUNTY.
  - UNDERGROUND UTILITIES WERE TAKEN FROM LOCATIONS BY NC811 UTILITY LOCATORS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES. CONTRACTOR SHALL EXPLORE AHEAD OF ALL WORK TO VERIFY UTILITY LOCATIONS. ANY UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT NOT ADDITIONAL COST TO THE OWNER.
  - CONTRACTOR SHALL COORDINATE REMOVAL OF ANY UTILITY WITH THE UTILITY PROVIDER.
  - CONTRACTOR SHALL COORDINATE WITH THE UTILITY PROVIDER ANY NEW SERVICE (ELECTRICAL, GAS, TELEPHONE, SANITARY, ETC.)
  - ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM SITE AND DISPOSED OF IN AN APPROVED CONSTRUCTION DEBRIS LANDFILL. NO MATERIAL WILL BE ALLOWED TO BE BURIED ON SITE.
  - CONTRACTOR SHALL BE REQUIRED TO PROVIDE A SIGNED AND SEALED SURVEY FROM A LICENSED PROFESSIONAL SURVEYOR IN THE STATE OF NORTH CAROLINA AN AS-BUILT SURVEY OF:
    - WATER LINE, VALVES, BENDS, HYDRANTS, TEES METERS, BACKFLOW PREVENTION DEVICES,
    - SEWER LINE MANHOLES, INVERTS, CLEANOUTS
    - STORMWATER SYSTEM CATCH BASINS, INVERTS
    - STORMWATER BEST MANAGEMENT PRACTICE SUCH AS BIO-RETENTION AREAS AND RETENTION PONDS INCLUDING BUT NOT LIMITED TO TOPOGRAPHIC SURVEY, DETAILED SURVEY OF DRAWDOWN DEVICE.
  - AS-BUILT SURVEY WILL BE NEEDED PRIOR TO ANY PARTIAL OR FINAL CERTIFICATIONS FOR WATER, SEWER, OR STORMWATER BEST MANAGEMENT PRACTICE.
  - SETBACKS: BUILDING/DUMPSTER: FRONT - 12', SIDE - 5', REAR - 5'  
PARKING: FRONT - 5', SIDE - 5', REAR - 5'
  - LIMITS OF DISTURBANCE: 26385.72 SF (0.61 AC)
  - BUILT UPON AREA: EXISTING: 16,818.05 SF - DEMO: 7,639.81 SF + PROPOSED: 7,607.7 SF = RESULTING: 16,785.94 SF
  - TOTAL REQUIRED PARKING FOR MEDICAL OFFICE: 18 SPACES (2 SPACES PER EXAMINING ROOM PLUS 1 SPACE PER EMPLOYEE)
  - REQUIRED HANDICAP SPACES FOR PROPOSED PARKING IS 1 SPACE 1, WITH AT LEAST 1 VAN ACCESSIBLE
  - PROPOSED PARKING = 19, 1 OF WHICH ARE HANDICAP VAN ACCESSIBLE
  - EXTERIOR EXIT DISCHARGE ILLUMINATION/LIGHTING SHALL BE REQUIRED FROM ALL EXIT DOORS TO THE PUBLIC WAY IN COMPLIANCE WITH NCBC 1006.
  - LIGHTING PLAN TO BE PREPARED BY DUKE ENERGY PROGRESS.
  - NEW LIGHT FIXTURES TO BE LED FULL CUT OFF.
  - LIGHTING LEVELS SHALL NOT EXCEED MAXIMUM ILLUMINATION LEVELS LISTED.
  - LIGHT POLES SHALL BE SEPARATED FROM CANOPY TREE TRUNKS A MINIMUM OF 10 FEET TO THE MAXIMUM EXTENT PRACTICABLE.

**SITE KEYNOTES**

- 1' WIDE CURB CUT. DESIGNATED STORMWATER DISCHARGE POINT WITH RIP RAP PAD TO DISSIPATE ENERGY.
- VAN ACCESSIBLE HANDICAP SIGN POSTED 1' BEHIND CURB
- WHEEL STOP
- RAMP UP FROM PAVEMENT TO TOP OF CURB
- ROLL OUT TRASH BIN CORRAL

THIS SITE DOES NOT HAVE A NET INCREASE OF BUI. ANY ADDITIONAL IMPERVIOUS WOULD REQUIRE A STORMWATER PLAN AND CALCULATIONS. THOSE CALCULATIONS MAY REQUIRE A PERMANENT STORMWATER CONTROL MEASURE TO BE INSTALLED.



DRAWING NAME: F:\2023\230140\Civil\230140-Site Plan.dwg - SITE PLAN - 1/10/2024 2:39 PM

REV	DATE	DESCRIPTION	BY	PROJECT	230140
1				DATE	DEC 2023
2				DESIGNED	JDJ
3				DRAWN	JDJ
4				CHECKED	EM
5				SCALE	AS NOTED
6				SURVEYED	

THE SCALE BAR SHOWN BELOW MEASURES ONE INCH LONG ON THE ORIGINAL DRAWING.



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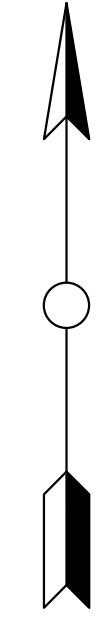
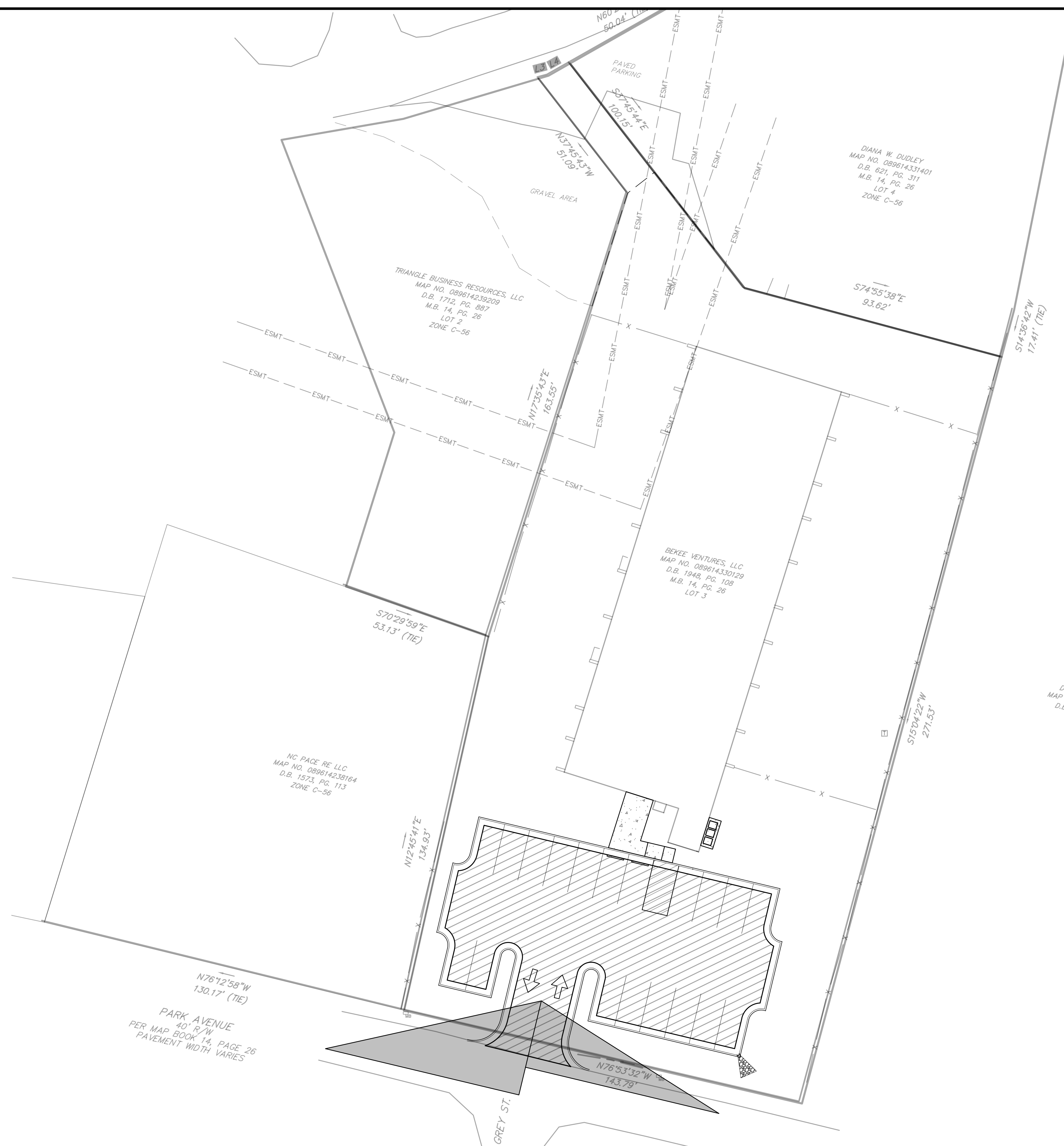
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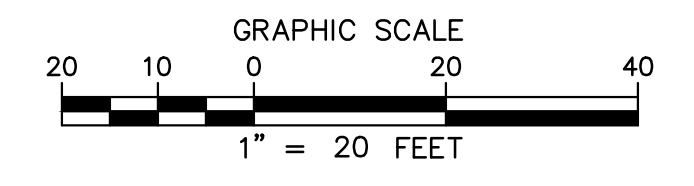
SITE PLAN  
CREEDMOOR SITE  
DAVID MILLER ASSOCIATES  
109 PARK AVE  
CREEDMOOR, NORTH CAROLINA, 27522

SHEET NO.  
**C2.0**  
OF \_\_\_



**PAVEMENT HATCHING LEGEND**

- STANDARD PAVEMENT
- CONCRETE



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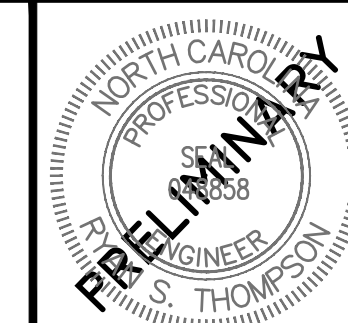
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1		DATE		DEC 2023	
2		DESIGNED	JDJ		
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**PAVING PLAN**  
**CREEDMOOR SITE**  
**DAVID MILLER ASSOCIATES**  
 109 PARK AVE  
 CREEDMOOR, NORTH CAROLINA, 27522

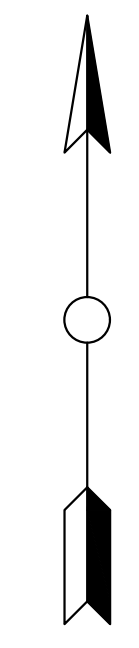
SHEET NO.

**C2.1**

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**ELEVATION KEY**

- 1) TC: TOP OF CURB
- 2) BC: BOTTOM OF CURB



**NOTES:**

1. LANDINGS OUTSIDE ALL DOORS SHALL BE SIZED PER THE NORTH CAROLINA BUILDING CODE (NCBC), BE AT THE SAME ELEVATION AS THE FFE AND SHALL HAVE A MAX 2% SLOPE IN ANY DIRECTION INCLUDING IN THE DIAGONAL.
2. THE SLOPES IN THE HC PARKING SPACE/ACCESS AISLE AREA SHALL NOT EXCEED 2% IN ANY DIRECTION INCLUDING IN THE DIAGONAL.
3. THERE SHALL BE LEVEL TURNING AREAS (MAX 2% SLOPE IN ANY DIRECTION INCLUDING IN THE DIAGONAL) ON ALL SIDEWALKS WHERE AN INTERSECTING SIDEWALK CONNECTS WITH IT.
4. THERE SHALL BE NO DESIGNATED PEDESTRIAN ROUTES/SIDEWALKS WITHIN THE SITE, EXCEPT WHERE LABELED AS A RAMP WITH RAILS, WHICH EXCEED A 5% SLOPE IN THE DIRECTION OF TRAVEL AND A 2% CROSS-SLOPE.
5. ALL PEDESTRIAN ROUTES >5% (1:20), IF ANY, ARE LABELED AS 'RAMPS' SHOWING SLOPES, LEVEL LANDINGS AT TOP AND BOTTOM (MAX 2% SLOPE IN ANY DIRECTION INCLUDING IN THE DIAGONAL), RAILINGS/GUARDRAILS, AND SHALL COMPLY WITH NCBC.



DRAWING NAME: P:\2023\230140\Chil\230140-Grading.dwg - GRADING & UTILITY PLAN - 1/10/2024 2:40 PM

REV	DATE	DESCRIPTION	BY	PROJECT	230140
1				DATE	DEC 2023
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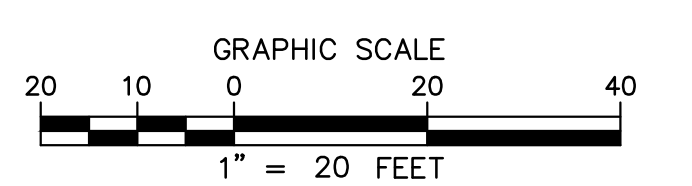
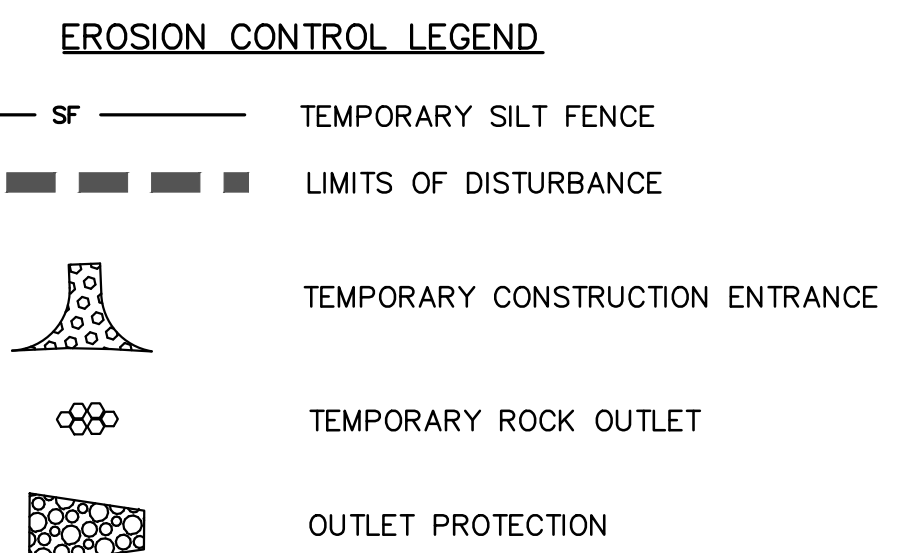
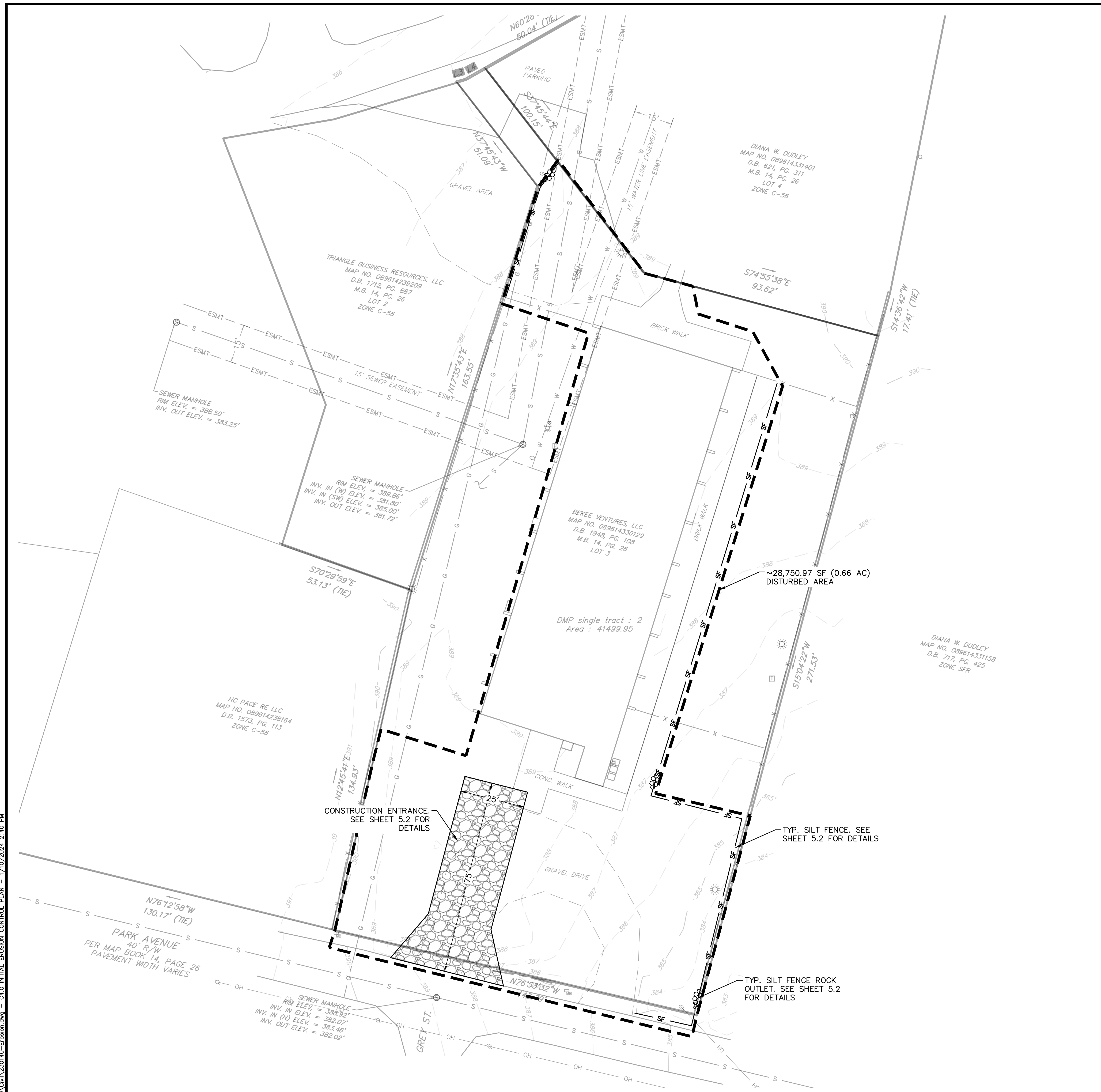
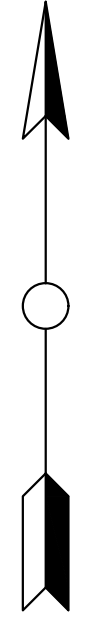
**GRADING & UTILITY PLAN**  
**CREEDMOOR SITE**  
 DAVID MILLER ASSOCIATES  
 109 PARK AVE  
 CREEDMOOR, NORTH CAROLINA, 27522

SHEET NO.  
**C3.0**  
 OF



**GENERAL EROSION CONTROL/GRADING NOTES:**

1. CONTRACTOR SHALL SET UP A PRE-GRADING MEETING WITH THE ENGINEER, EROSION CONTROL INSPECTOR, GRADING CONTRACTOR AND OWNER PRIOR TO STARTING WORK. THE CONTRACTOR WILL RECEIVE THE GRADING PERMIT AT THIS MEETING.
2. THE EROSION CONTROL INSPECTOR FOR THIS PROJECT IS CITY CREEDMOOR.
3. ALL GRADES REPRESENT THE FINAL GRADE WITH NO ADJUSTMENTS FOR TOPSOIL.
4. ANY TOPSOIL ON SITE SHALL BE STRIPPED AND STOCKPILED FOR FUTURE USE AROUND BUILDINGS, LANDSCAPE ISLANDS ETC. TOPSOIL SHALL BE SCREENED TO REMOVE ROCK AND WOODY DEBRIS PRIOR TO USAGE. THIS SHALL BE INCLUDED IN THE BASE BID.
5. ALL SLOPES SHALL BE SEEDED IMMEDIATELY AFTER REACHING FINAL GRADE. PERIMETER BERMS AND SLOPES 3:1 OR STEEPER SHALL BE SEEDED WITHIN 7 DAYS OF REACHING FINAL GRADE. ALL OTHER SLOPES SHALL BE SEEDED WITHIN 14 DAYS OF REACHING FINAL GRADE. AREAS THAT HAVE BEEN DISTURBED AND WORK IS SUSPENDED IN THAT AREA FOR MORE THAN 14 DAYS SHALL BE SEEDED. INSPECT SLOPES FOR EROSION AND REPAIR BY INSTALLING MATTING MATERIAL ON SLOPES THAT ROUTINELY EXPERIENCE EROSION PROBLEMS PRIOR TO PERMANENT VEGETATION ESTABLISHMENT.
6. EROSION CONTROL MEASURES INDICATED ARE SHOWN IN APPROXIMATE LOCATIONS. SLIGHT FIELD ADJUSTMENTS SHOULD BE EXPECTED TO INSURE SEDIMENT BASINS, BERMS, AND OTHER EROSION CONTROL FEATURES FUNCTION TO MAXIMUM EFFICIENCIES.
7. ALL EROSION CONTROL MATERIALS MUST BE ON SITE PRIOR TO BEGINNING CONSTRUCTION. I.E. BUT NOT LIMITED TO RISER/BARREL, SILT FENCING, ETC.
8. ADDITIONAL EROSION CONTROL MEASURES NOT SHOWN ON THIS PLAN MAY BE REQUIRED TO INSURE NO SEDIMENT LEAVES THE SITE. THE CONTRACTOR IS EXPECTED TO NOTIFY THE ARCHITECT OR ENGINEER IMMEDIATELY IF THEY FEEL ADDITIONAL MEASURES ARE NEEDED.
9. THE CONTRACTOR MUST COMPLY WITH ALL PROVISIONS OF THE NORTH CAROLINA GENERAL STORMWATER PERMIT FOR LAND DISTURBING CONSTRUCTION ACTIVITIES. AS OF MARCH 10, 2003, ALL CONSTRUCTION SITES ONE (1) ACRE OR MORE, REQUIRE A NPDES PERMIT THEREFORE:
  - a. WRITTEN DOCUMENTATION OF A DEVIATION FROM APPROVED PLAN MUST BE NOTED ON THE APPROVED PLANS.
  - b. WRITTEN DOCUMENTATION OF AN EMERGENCY SITUATION WHERE SEDIMENT HAS BEEN DISCHARGED OFF SITE MUST BE RECORDED. ALSO, CONTRACTOR'S ACTIONS TO REPAIR AND RETURN AREA TO PRE-STORM CONDITION MUST BE RECORDED.
  - c. THE CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENTATION CONTROL FACILITIES EVERY SEVEN DAYS AND WITHIN 24 HOURS OF A .5 INCH OF RAIN. FINDINGS SHALL BE RECORDED AND PRESENTED UPON INSPECTOR'S REQUEST.
  - d. THE CONTRACTOR SHALL PROVIDE RAIN-RECORDING DEVICE AND RECORD EACH RAINFALL.
  - e. ANY FAILURES THAT CAUSE VISIBLE SEDIMENTATION TO LEAVE THE APPROVED DISTURBED LIMITS SHALL BE CORRECTED IMMEDIATELY AND DOCUMENTED.
  - f. A COPY OF THE NPDES PERMIT SHOULD BE KEPT ON SITE FOR REFERENCE.
10. A NEW SELF-INSPECTION PROGRAM FOR ALL LAND-DISTURBING ACTIVITIES LARGER THAN ONE (1) ACRE BECAME EFFECTIVE OCTOBER 1, 2010 AS PER GS 113A-54.1(E). THIS GENERAL STATUTE DIRECTS ALL PERSONS CONDUCTING LAND-DISTURBING ACTIVITIES LARGER THAN ONE (1) ACRE TO INSPECT THEIR PROJECT AFTER COMPLETING EACH PHASE OF THE PROJECT, AND DOCUMENT THE INSPECTION IN WRITING. A DETAILED EXPLANATION MAY BE VIEWED AT [HTTPS://DEQ.NC.GOV/ABOUT/DIVISIONS/ENERGY-MINERAL-LAND-RESOURCES/ENERGY-MINERAL-LAND-PERMITS/STORMWATER-PERMITS/CONSTRUCTION-SW](https://deq.nc.gov/about/divisions/energy-mineral-land-resources/energy-mineral-land-permits/stormwater-permits/construction-sw).
11. AS OF APRIL 1, 2019, REVISIONS WERE MADE TO THE NORTH CAROLINA DIVISION OF WATER QUALITY (DWO) CONSTRUCTION GENERAL PERMIT (NCG01). ALL NEW CONSTRUCTION ACTIVITIES HAVING OVER ONE ACRE OF DISTURBED AREA ARE REQUIRED TO COMPLETE AND SUBMIT AN ELECTRONIC NOTICE OF INTENT (NOI) FORM REQUESTING A CERTIFICATE OF COVERAGE (COC) UNDER THE NCG01 CONSTRUCTION STORMWATER GENERAL PERMIT. THIS FORM MUST BE SUBMITTED PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBING ACTIVITY. THE NOI FORM AND INSTRUCTIONS MAY BE ACCESSED AT <https://deq.nc.gov/nco1>.
12. IF CONTRACTOR DEEMS OFFSITE BORROW OR WASTE IS REQUIRED, THE CONTRACTOR SHALL PROVIDE PROOF THAT THE BORROW/WASTE AREA(S) ARE OPERATING UNDER AN APPROVED EROSION CONTROL PLAN. IF ADJUSTMENTS ARE SUBMITTED AND APPROVED, THE GRADING CONTRACTOR SHALL PROVIDE A SEQUENCE OF CONSTRUCTION PRIOR TO ANY CHANGE. THIS SHALL INCLUDE HIS ESTIMATE OF CUT VERSUS FILL AND THE METHOD FOR MOVING DIRT AROUND THE ENTIRE SITE TO THE COMPLETION OF THE PROJECT.
13. GENERAL CONTRACTOR IS RESPONSIBLE FOR INSPECTION/MAINTENANCE AND REPAIR OF ALL EROSION CONTROL MEASURES UNTIL THE PROJECT IS COMPLETE.
14. ALL FILL SLOPES OVER 6' HIGH SHALL HAVE EARTH BERMS AND SLOPE DRAINS INSTALLED AT THE END OF EACH DAY OF GRADING ACTIVITY. AS SLOPES EXTEND UPWARDS, TEMPORARY SLOPE DRAINS ARE TO BE PROVIDED FOR ALL SLOPES GREATER THAN EIGHT FEET HIGH. MAINTAIN BERMS AT THE TOP OF FILL SLOPES TO DIRECT RUN OFF TO SLOPE DRAINS. PERMANENT SLOPE DRAINS INDICATED SHALL BE BURIED WITH A MINIMUM OF 12" OF COVER.
15. CONTRACTOR SHALL EXPLORE FOR ON-SITE MATERIAL TO REPLACE ANY UNSUITABLE MATERIAL ENCOUNTERED. THIS TASK SHALL OCCUR IMMEDIATELY FOLLOWING THE LOGGING OPERATION. THE DESIGNATED GEO-TECH COMPANY WILL PROVIDE ASSISTANCE.
16. TOP SOIL CAN BE STOCKPILED WHERE SHOWN ON PLAN. STOCKPILE WILL REQUIRE SILT FENCES AND BERMS FOR EROSION CONTROL. FIELDS SHALL BE ROUGH GRADED PRIOR TO STOCKPILING. ANY EXCESS SOIL IS THE PROPERTY OF OWNER. SOIL SHALL BE STOCKPILED IN INDICATED AREAS, SEEDED AND SILT FENCE SHALL BE ADDED ON THE LOW SIDE OF THE STOCKPILE. CONFIRM LOCATION OF STOCKPILES WITH OWNER.
17. CONTRACTOR SHALL VERIFY ALL CURBING AND PARKING GRADES MANUALLY PRIOR TO INSTALLATION. ANY ADJUSTMENTS SHALL BE MADE AT THIS TIME TO PROVIDE ADEQUATE DRAINAGE. CONTACT THE SITE ENGINEER IMMEDIATELY FOR RECOMMENDATIONS.
18. CONTRACTOR WILL BE RESPONSIBLE FOR SCARIFYING THE SOIL, AS NECESSARY FOR ADEQUATE USAGE WITH NO ADDITIONAL COST TO THE OWNER.
19. ALL DITCHES GREATER THAN 2% SHALL HAVE EXCELSIOR MATTING INSTALLED.
20. ALL EROSION CONTROL DEVICES ARE TO REMAIN IN PLACE UNTIL SITE IS PROPERLY STABILIZED WITH SUFFICIENT GROUND COVER. GROUND COVER MUST BE MAINTAINED TO A DEGREE THAT PREVENTS SOIL EROSION AND SEDIMENTATION AT ALL TIMES.
21. CONTRACTOR SHALL CALL FOR AN INSPECTION PRIOR TO REMOVING ANY EROSION CONTROL DEVICES. REMOVAL OF EROSION CONTROL DEVICES SHALL OCCUR ONLY UPON RECEIPT OF APPROVAL FROM EROSION CONTROL INSPECTOR. ANY MODIFICATIONS TO THE APPROVED PLANS MUST BE PRE-APPROVED AND DOCUMENTED ON THE SELF-INSPECTION FORMS.
22. AFTER INSPECTION FOR SUFFICIENT GROUND COVER AND THE SITE'S COVER IS APPROVED, CONTRACTOR SHALL REMOVE THE SEDIMENT THAT HAS COLLECTED FROM THE EROSION CONTROL DEVICES AND GRADE THE AREA(S) WHERE THE MEASURES WERE INSTALLED TO FINAL ELEVATIONS AND STABILIZE.
23. ALL EROSION CONTROL MEASURES MUST CONFORM TO THE LATEST STANDARDS FOUND IN THE EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL OF THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES.



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1				DATE	DEC 2023
2				DESIGNED	JDJ
3				DRAWN	JDJ
4				CHECKED	EM
5				SCALE	AS NOTED
6				SURVEYED	

THE SCALE BAR SHOWN BELOW MEASURES ONE INCH LONG ON THE ORIGINAL DRAWING.

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**INITIAL EROSION CONTROL PLAN**  
CREEDMOOR SITE  
DAVID MILLER ASSOCIATES  
109 PARK AVE  
CREEDMOOR, NORTH CAROLINA, 27522

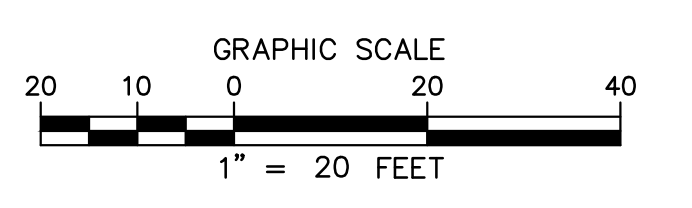
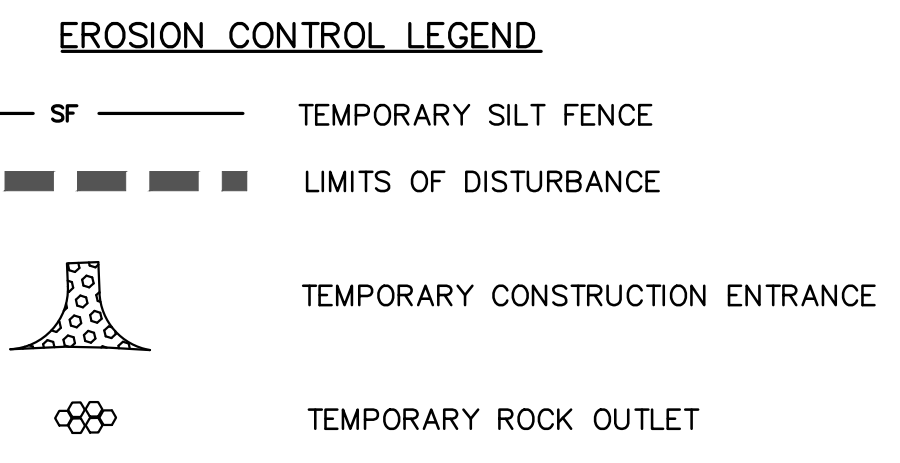
SHEET NO.  
**C4.0**  
OF

DRAWING NAME: P:\2023\230140\Chil\230140-Erosion.dwg - C4.1 FINAL EROSION CONTROL PLAN - 1/10/2024 2:40 PM



**GENERAL EROSION CONTROL/GRADING NOTES:**

1. CONTRACTOR SHALL SET UP A PRE-GRADING MEETING WITH THE ENGINEER, EROSION CONTROL INSPECTOR, GRADING CONTRACTOR AND OWNER PRIOR TO STARTING WORK. THE CONTRACTOR WILL RECEIVE THE GRADING PERMIT AT THIS MEETING.
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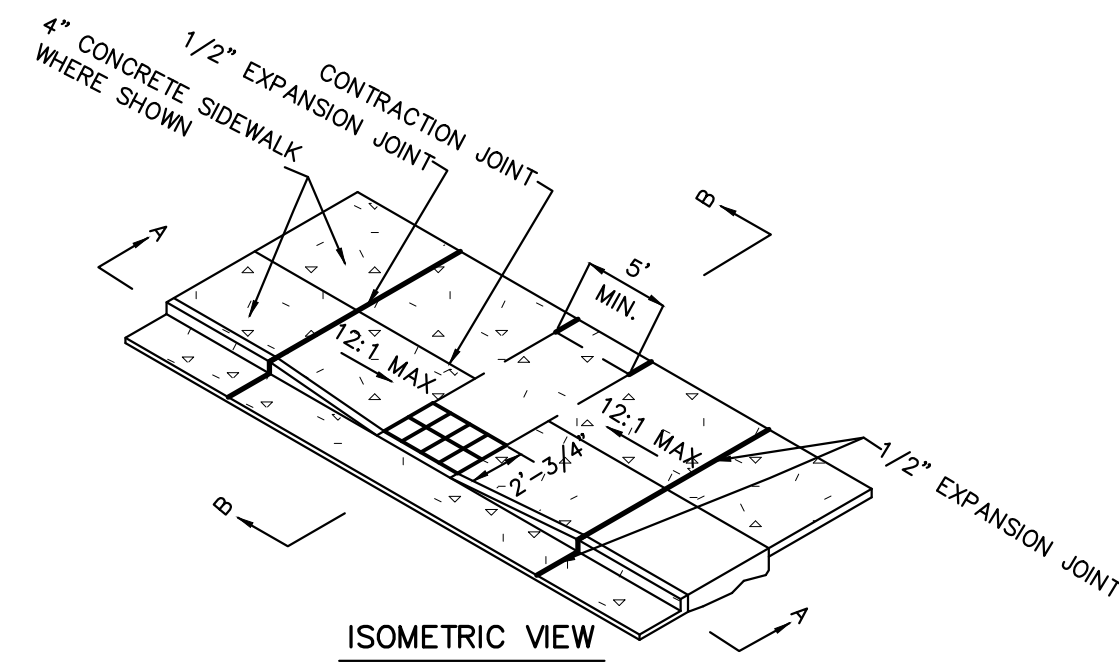
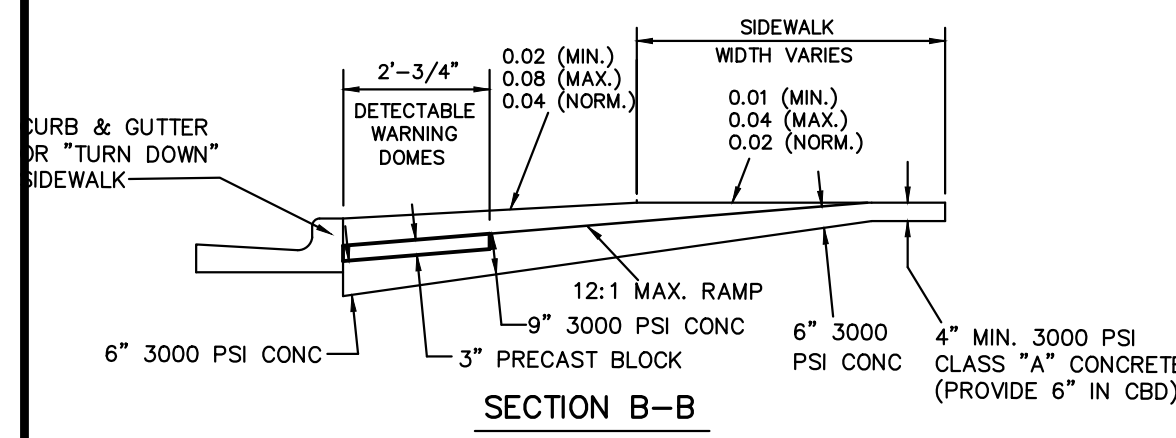
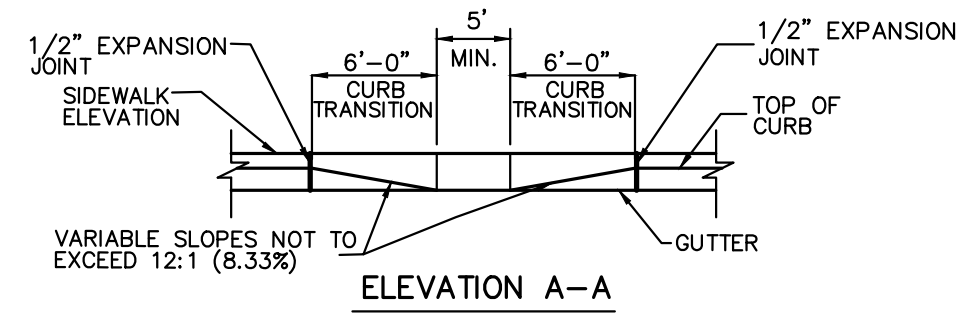
**FINAL EROSION CONTROL PLAN**  
CREEDMOOR SITE  
DAVID MILLER ASSOCIATES  
109 PARK AVE  
CREEDMOOR, NORTH CAROLINA, 27522

SHEET NO.  
**C4.1**  
OF

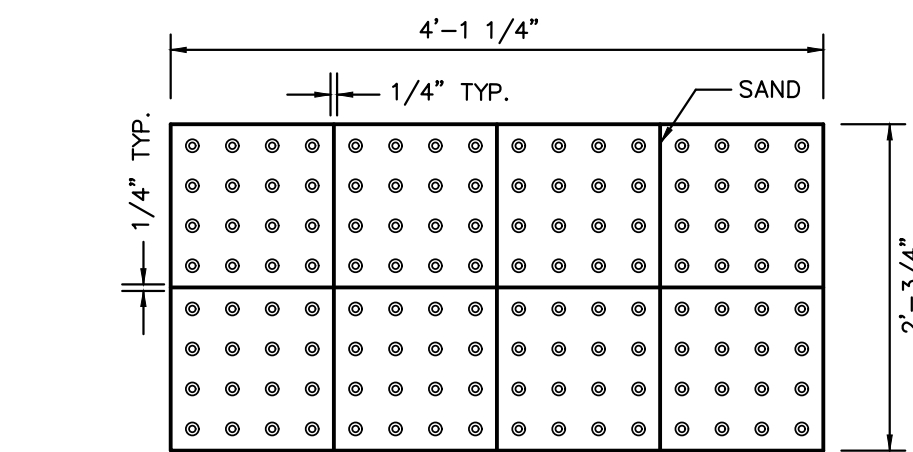
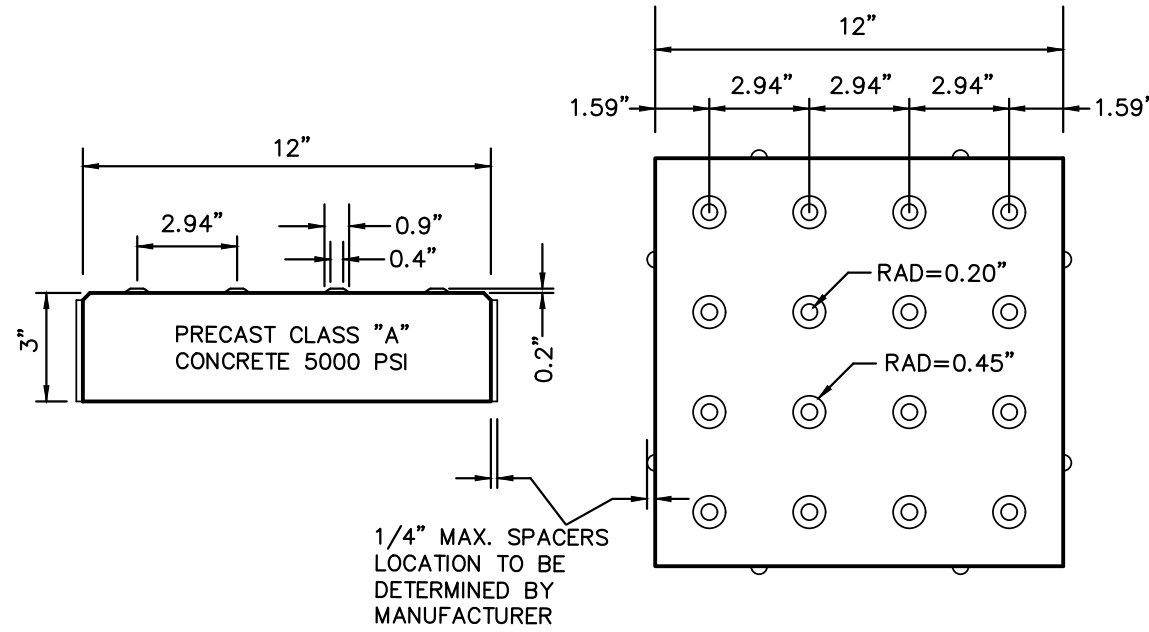


**NOTES:**

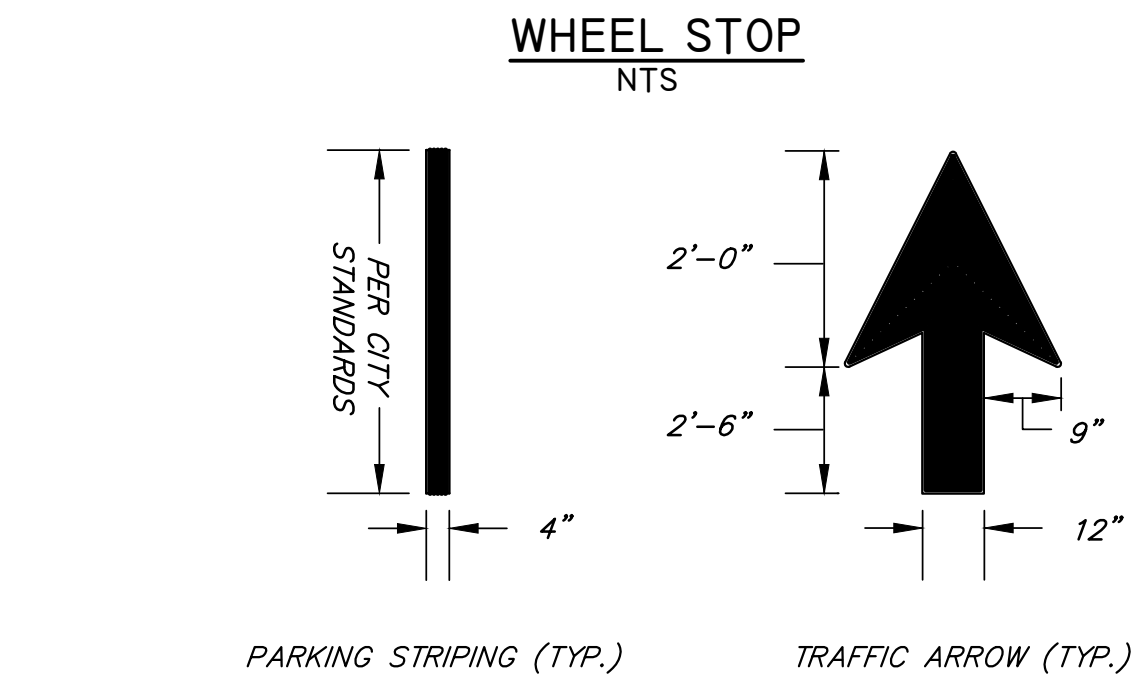
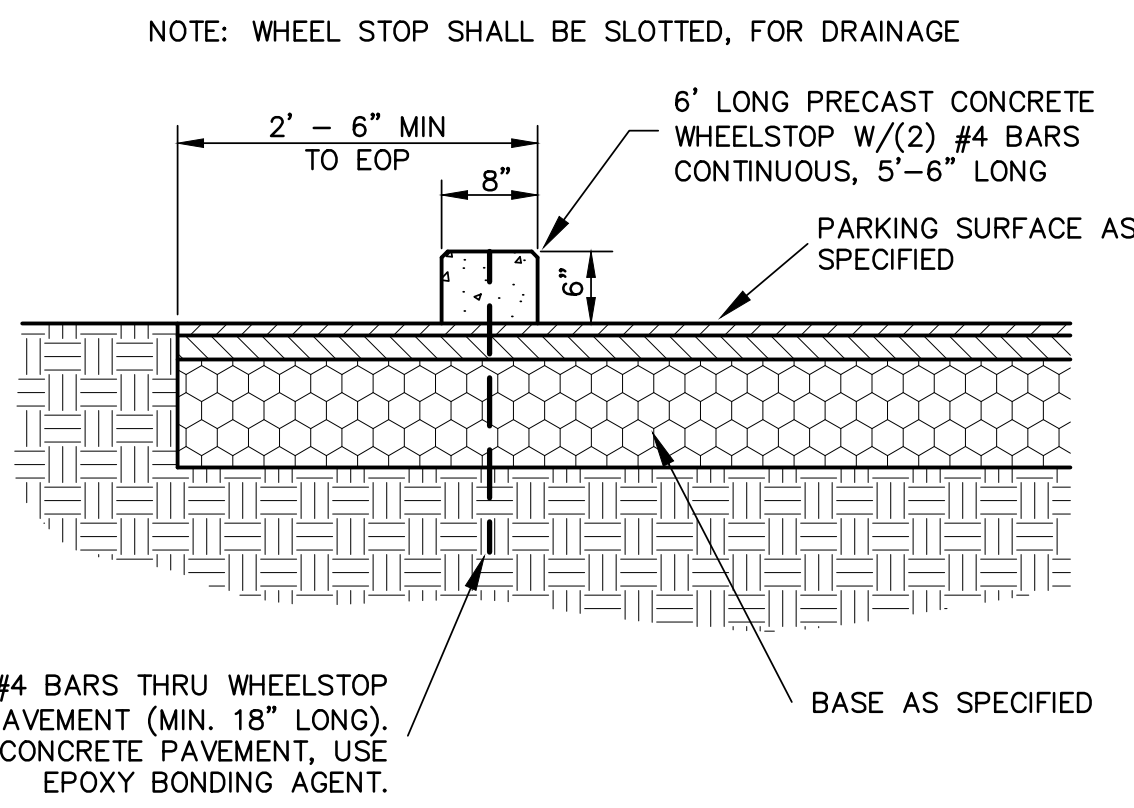
1. CONCRETE SIDEWALK CONSTRUCTION MUST BE APPROVED PRIOR TO INSTALLATION BY THE CITY ENGINEER.
2. ALL POURED CONCRETE TO BE 3,000 PSI, CLASS "A".
3. EXPANSION JOINTS TO BE FILLED WITH 1/2" BITUMINOUS FIBER.
4. THE SUBBASE IS TO BE COMPACTED TO 95% ASTM STD. PROCTOR.
5. CONTRACTOR TO INSTALL HANDICAP RAMP IN ACCORDANCE WITH ADA STANDARDS AND SPECIFICATIONS.
6. PRECAST DETECTABLE WARNING DOME BLOCKS SHALL BE MANUFACTURED BY MOTSINGER BLOCK PLANT OR APPROVED EQUAL.
7. UTILIZE SAND & VIBRATING EQUIPMENT TO STABILIZE JOINTS AND ALSO FOR LEVELING PURPOSES UNDER BLOCKS.
8. THE PRECAST DETECTABLE WARNING BLOCK MUST BE IMPREGNATED WITH YELLOW TRAFFIC COLOR ONLY.



**INLINE CURB RAMP DETAIL WITH DETECTABLE WARNING SURFACE**  
N.T.S.



**PRECAST DETECTABLE WARNING DOME BLOCK INSTALLATION DETAIL**  
N.T.S.



**PAVEMENT MARKINGS**

1. PAINT SHALL BE PPG TRAFFIC AND ZONE MARKING PAINT, 11 LINE (ALKYD TYPE) AS MANUFACTURED BY PPG INDUSTRIES, OR APPROVED EQUAL.
2. SURFACES SHALL BE FREE OF FATS, OILS, GREASES OR OTHER SUBSTANCES WHICH WOULD PREVENT PROPER BONDING OF PAINT OR WHICH WOULD DAMAGE PAINT. SURFACES SHALL BE FREE OF LOOSE OR LOOSELY ADHERING SUBSTANCES.
3. APPLY IN ACCORDANCE WITH MANUFACTURERS PRINTED INSTRUCTIONS.
4. REMOVE ALL SPLATTER AND PAINT OUTSIDE OF REQUIRED AREAS.
5. INSTALL PARKING STRIPES, TRAFFIC ROUTING LINES AND HANDICAP AS SHOWN ON DRAWINGS.

**STRIPING DETAIL**  
NTS

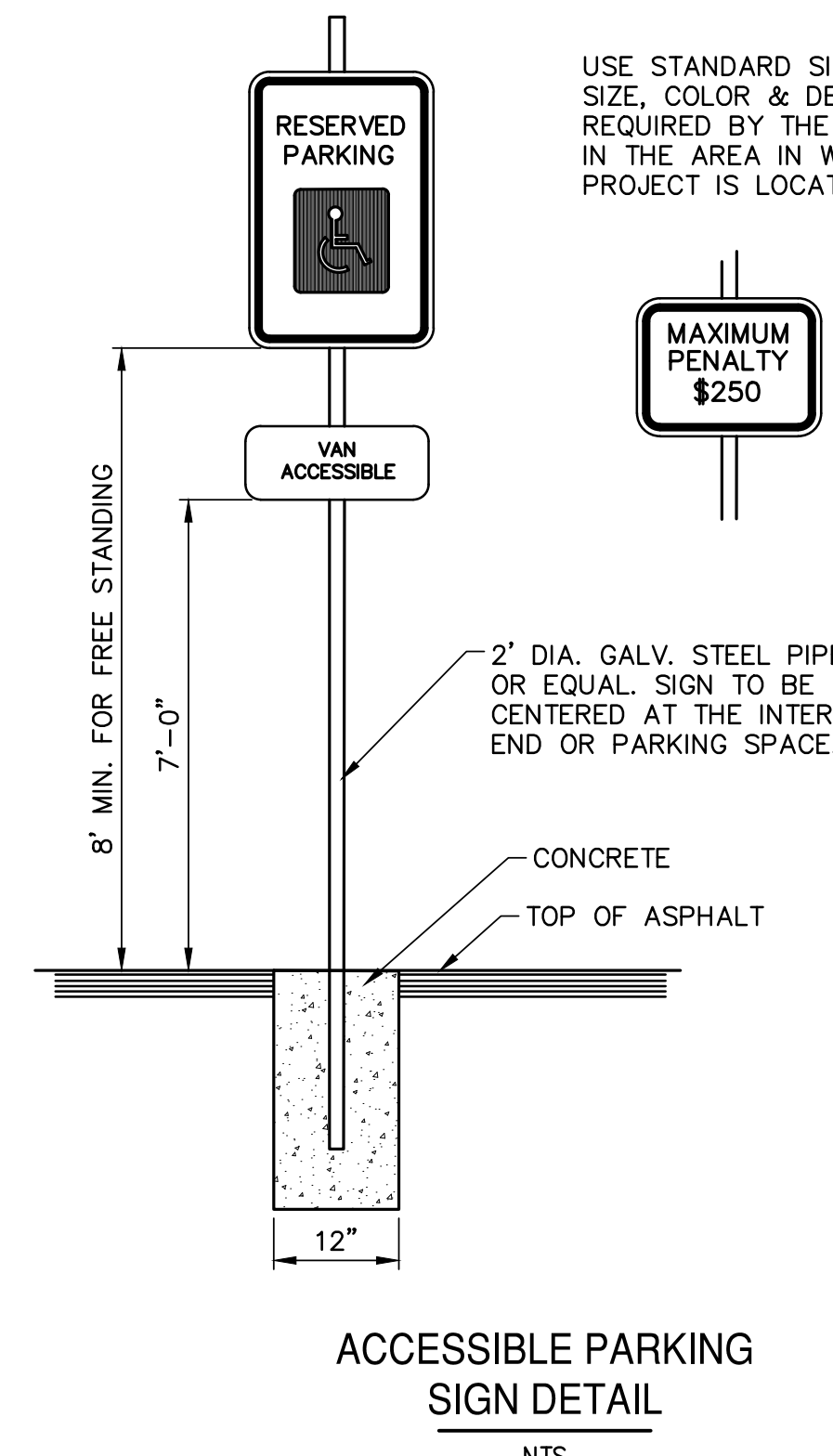
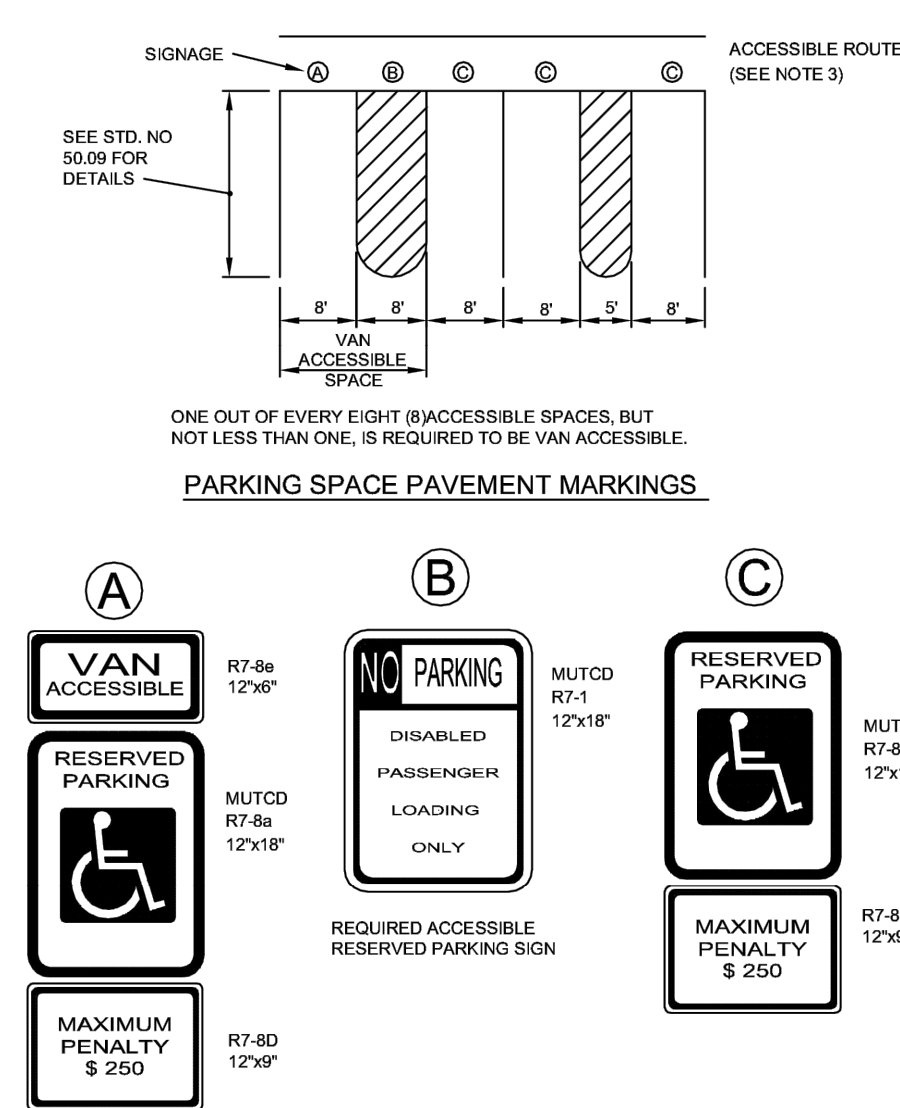
ACCESSIBLE PARKING REQUIREMENTS		
TOTAL PARKING SPACES PROVIDED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED TO BE VAN ACCESSIBLE
1 TO 25	1	1
26 TO 50	2	1
51 TO 75	3	1
76 TO 100	4	1
101 TO 150	5	1
151 TO 200	6	1
201 TO 300	7	1
301 TO 400	8	1
401 TO 500	9	2
501 TO 1000	2% OF TOTAL	1 IN EVERY 8 ACCESSIBLE SPACES
1001 AND OVER	2% PLUS 1 FOR EACH 100 OVER 1000	1 IN EVERY 8 ACCESSIBLE SPACES

SECTION 4.1.2 (5) OF THE AMERICANS WITH DISABILITIES ACT (ADA). SEE 4.1.2.(5) (d) FOR MEDICAL CARE FACILITIES.

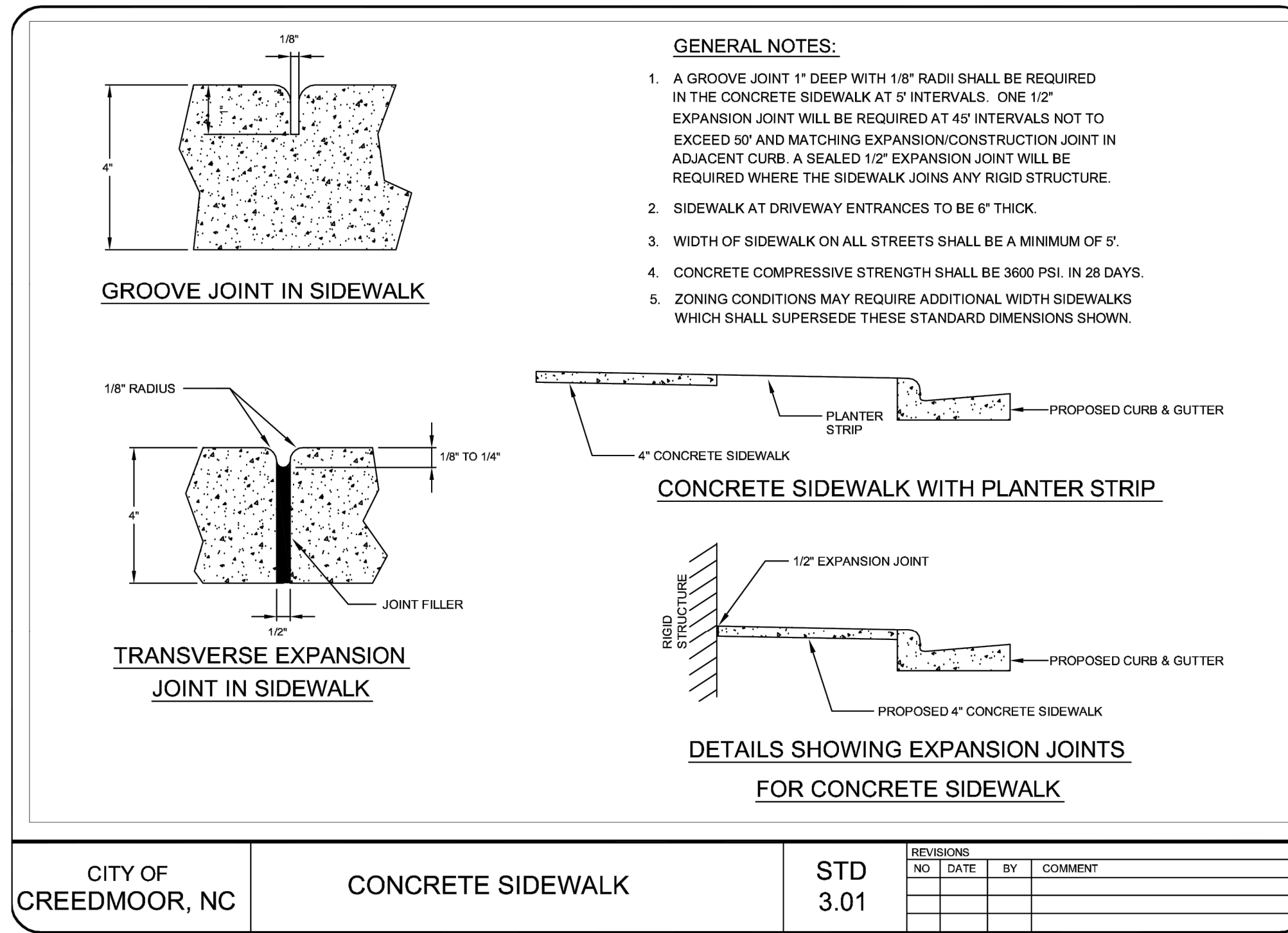
**NOTES:**

1. ALL 12"x18" ACCESSIBLE SIGNS (R7-8a & R7-1) SHALL BE MOUNTED AT 7 FEET FROM GRADE TO BOTTOM EDGE OF SIGN FACE (MUTCD). MOUNTING HEIGHT CAN BE REDUCED TO 5 FEET IF PLACED IN AN AREA BETWEEN SIDEWALK AND BUILDING FACE IN WHICH PEDESTRIANS ARE NOT EXPECTED TO USE.
2. REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) U.S. DEPARTMENT OF TRANSPORTATION AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION SUPPLEMENT.
3. IF ACCESSIBLE ROUTE IS A RAISED SIDEWALK AREA, THEN RAMP ARE REQUIRED AT LOADING ZONE AREA.

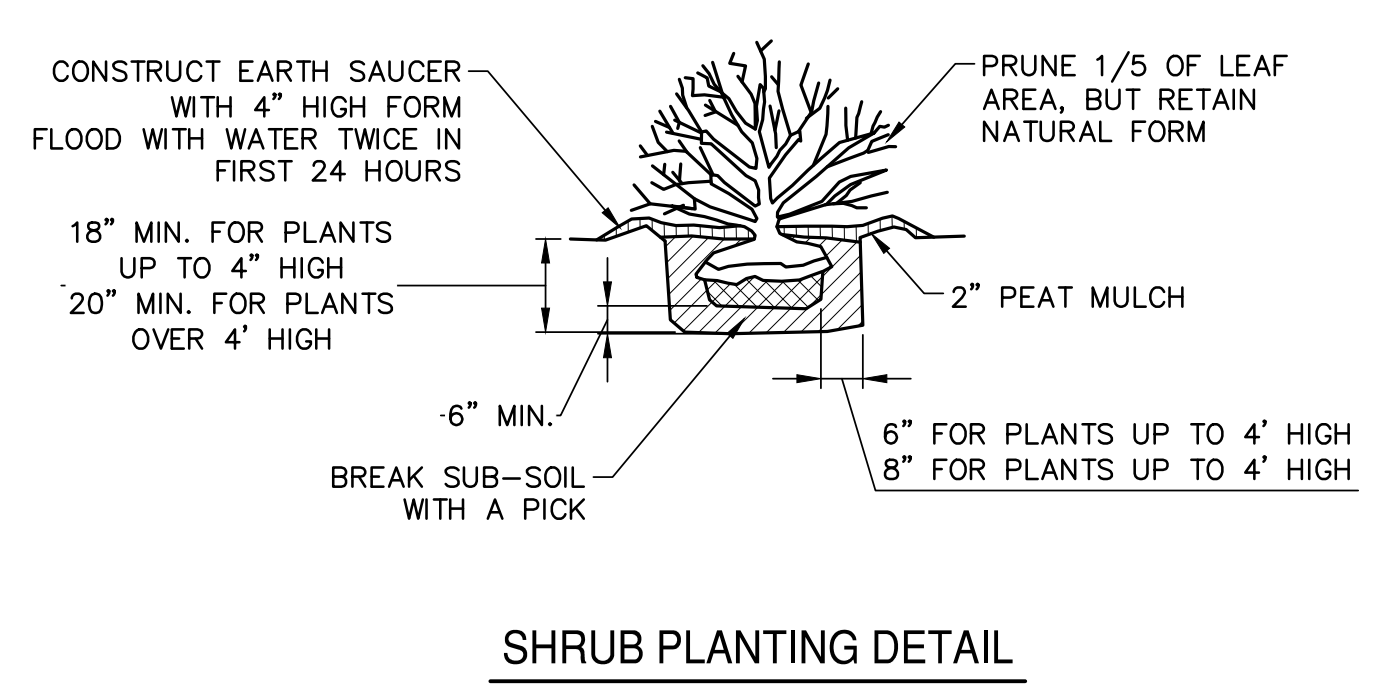
**CITY OF CREEDMOOR, NC ACCESSIBLE PARKING AND SIGNAGE STD 2.11**



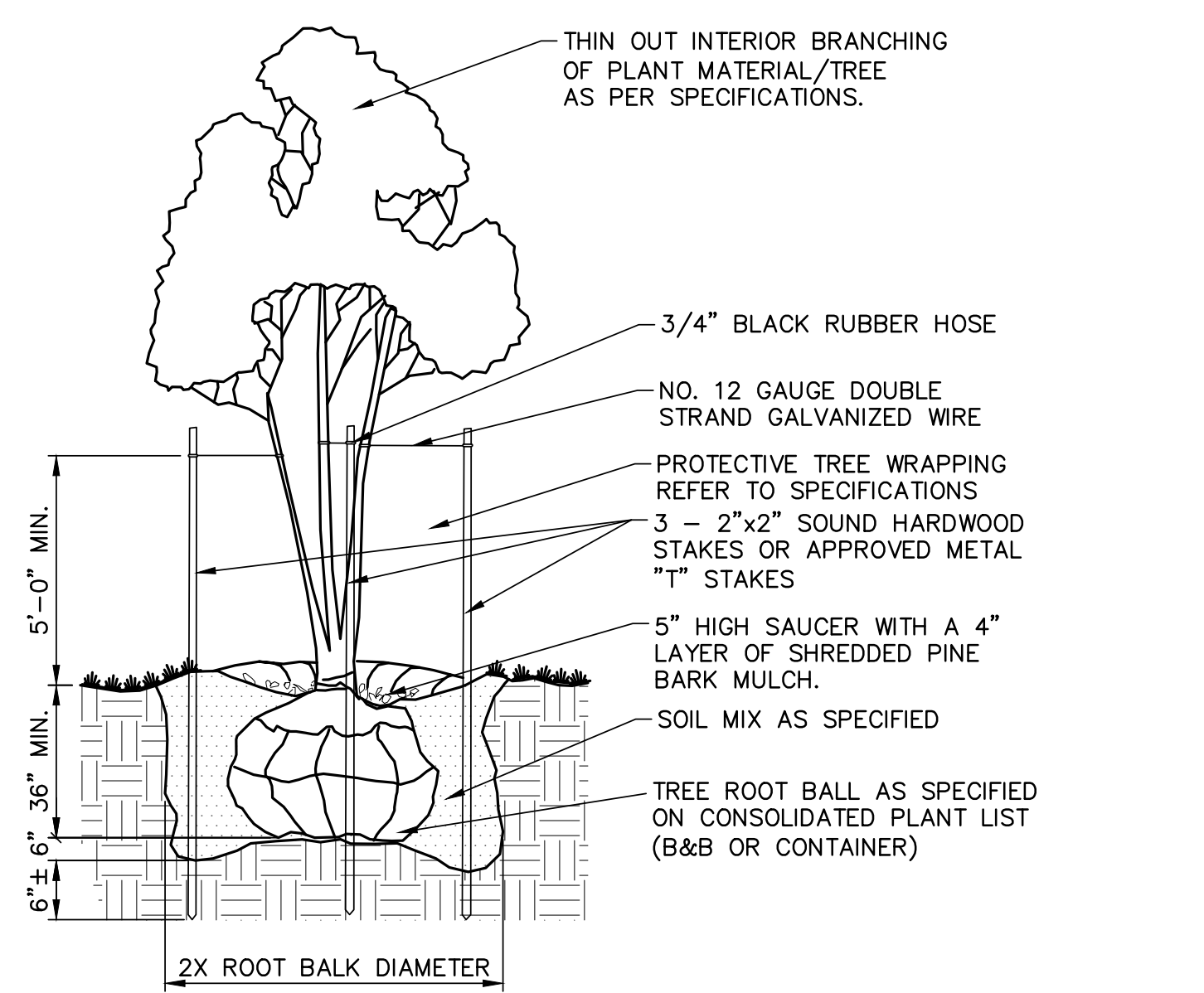
**ACCESSIBLE PARKING SIGN DETAIL**  
NTS



**CITY OF CREEDMOOR, NC CONCRETE SIDEWALK STD 3.01**



**SHRUB PLANTING DETAIL**  
NTS



**MULTI-TRUNK TREE PLANTING**  
NTS

DRAWING NAME: F:\2023\230140\Draw\230140-Cover.dwg - CSO STANDARD DETAILS - 1/10/2024, 2:40 PM

REV	DATE	DESCRIPTION	BY	PROJECT	230140
1				DATE	DEC 2023
2			DESIGNED	JDJ	
3			DRAWN	JDJ	
4			CHECKED	EM	
5			SCALE	AS NOTED	
6			SURVEYED		

THE SCALE BAR SHOWN BELOW MEASURES ONE INCH LONG ON THE ORIGINAL DRAWING.

**811** Know what's below. Call before you dig. Dial 8-1-1

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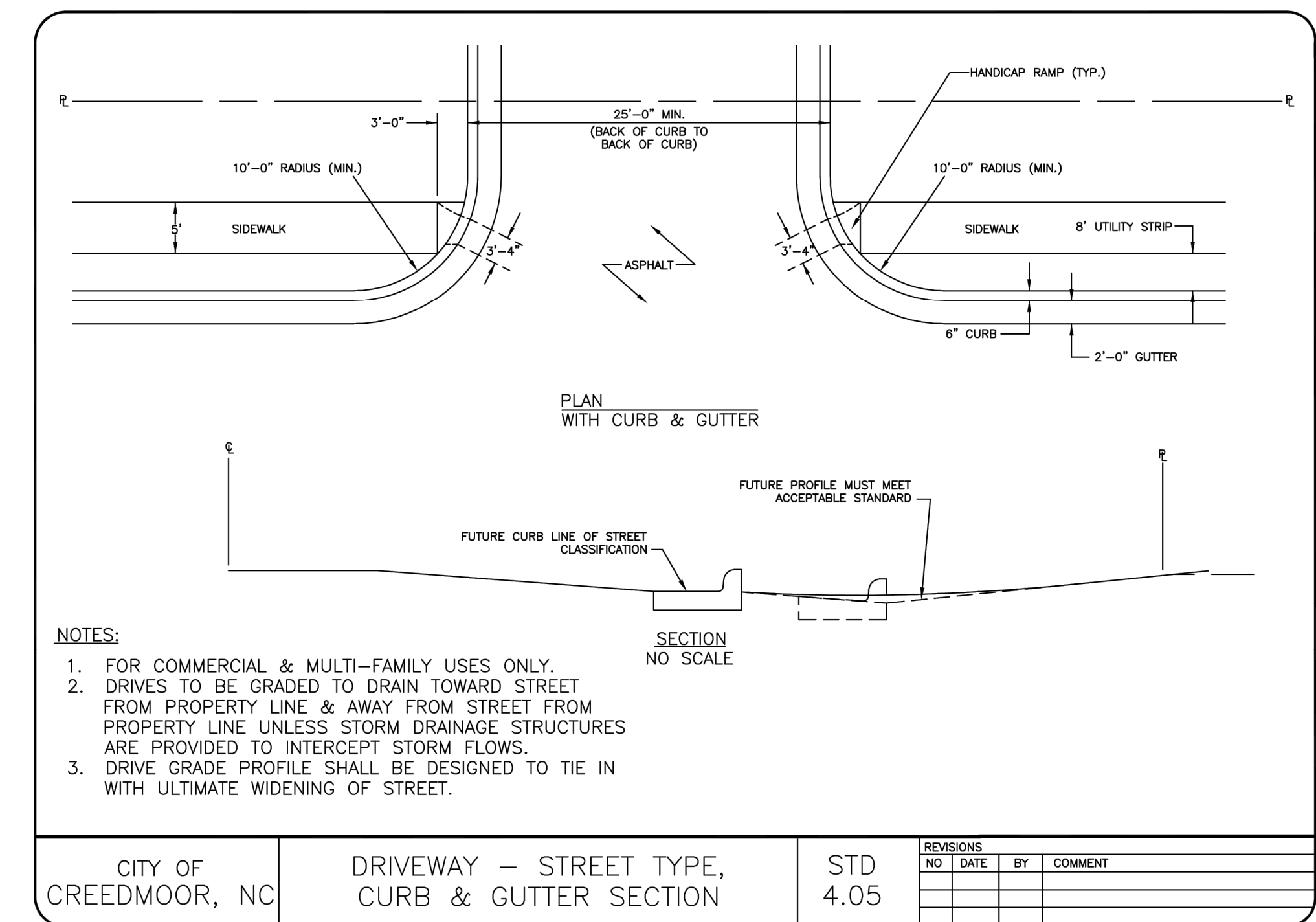
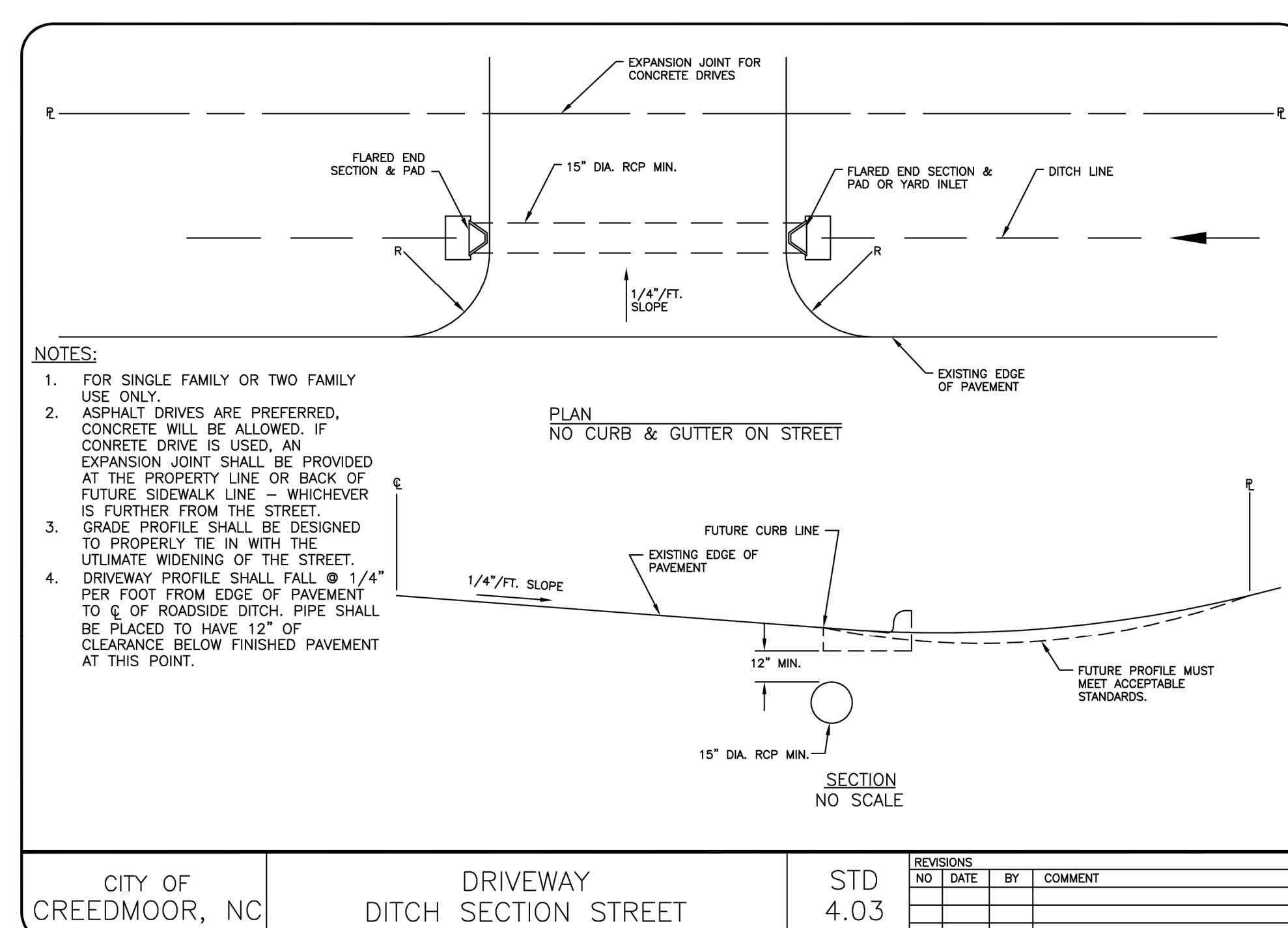
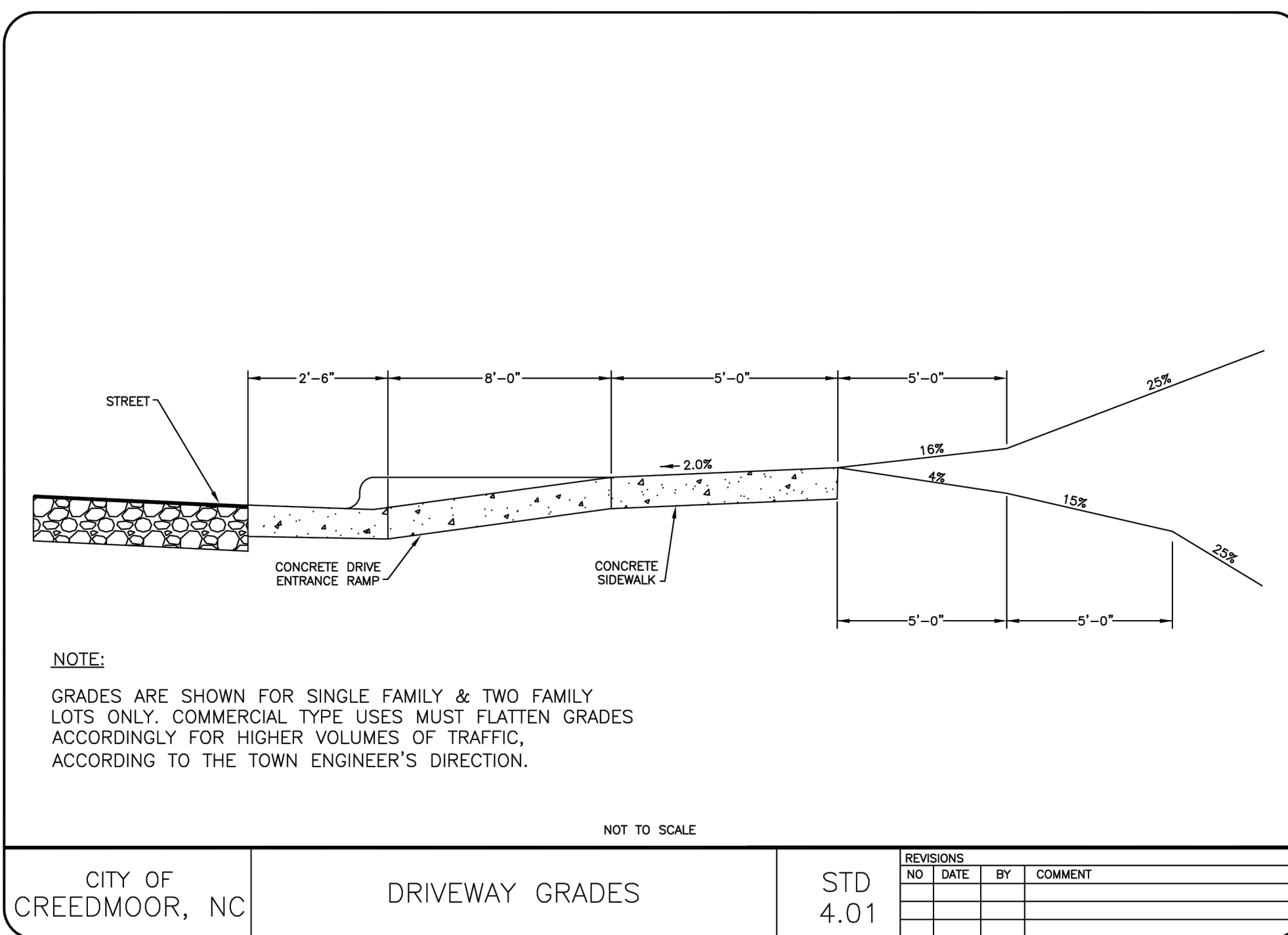
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**NORTH CAROLINA PROFESSIONAL ENGINEER** PRELIMINARY P. S. THOMPSON

PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION

STANDARD DETAILS  
CREEDMOOR SITE  
DAVID MILLER ASSOCIATES  
109 PARK AVE  
CREEDMOOR, NORTH CAROLINA, 27522

SHEET NO. **C5.0** OF \_\_\_\_



DRAWING NAME: F:\2023\230140\Civil\230140-Cover.dwg - CS:1 STANDARD DETAILS - 1/10/2024 2:40 PM

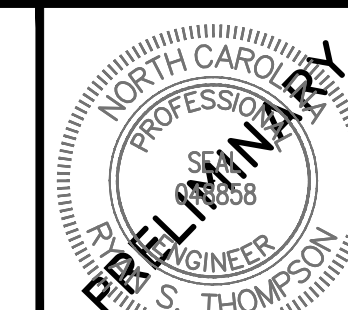
REV	DATE	DESCRIPTION	BY	PROJECT
1				230140
2				DATE DEC 2023
3				DESIGNED JDJ
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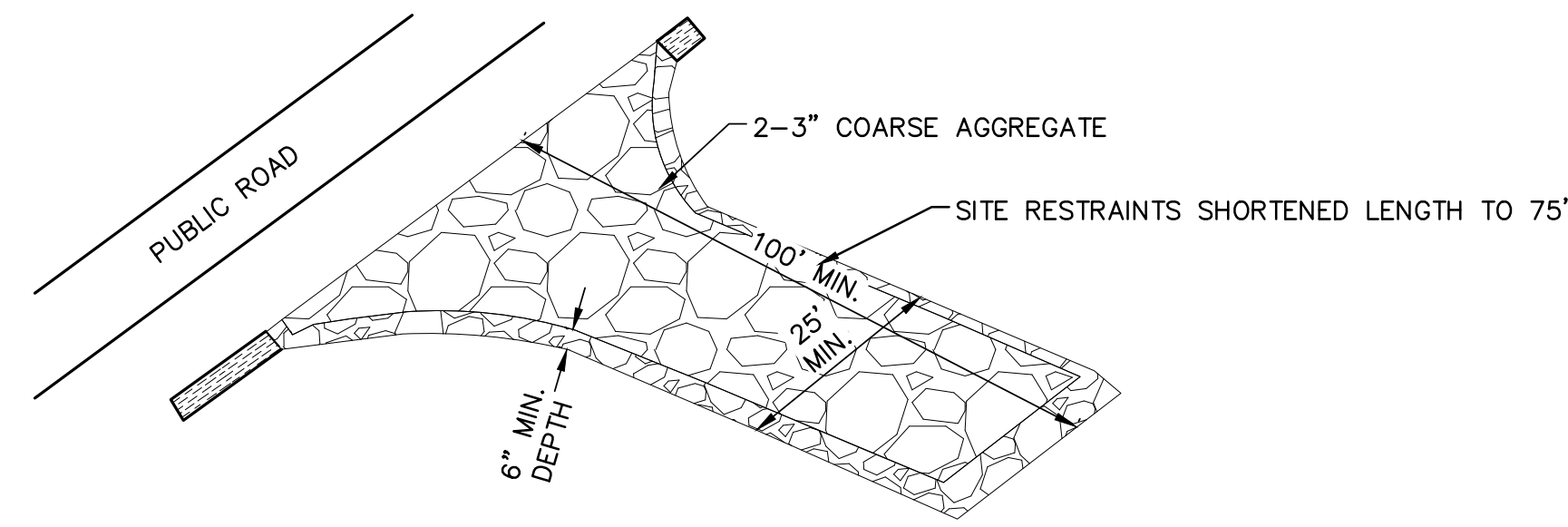
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SHEET NO.  
C5.1  
OF \_\_\_\_



WASHING - IF CONDITIONS AT THE SITE ARE SUCH THAT MOST OF THE MUD & SEDIMENT ARE NOT REMOVED BY VEHICLES TRAVELING OVER THE GRAVEL, THE TIRES SHOULD BE WASHED. WASHING SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO A SEDIMENT TRAP OR OTHER SUITABLE DISPOSAL AREA. A WASH RACK MAY ALSO BE USED TO MAKE WASHING MORE CONVENIENT & EFFECTIVE.

**CONSTRUCTION SPECIFICATION:**

1. CLEAR THE ENTRANCE & EXIT AREA OF ALL VEGETATION, ROOTS & OTHER OBJECTIONABLE MATERIAL & PROPERLY GRADE IT.
2. PLACE THE GRAVEL TO THE SPECIFIC GRADE & DIMENSIONS SHOWN ON THE PLANS & SMOOTH IT.
3. PROVIDE DRAINAGE TO CARRY WATER TO A SEDIMENT TRAP OR SUITABLE OUTLET.
4. USE GEO TEXTILE FABRICS BECAUSE THEY IMPROVE STABILITY OF THE FOUNDATION IN LOCATIONS SUBJECT TO SEEPAGE OR HIGH WATER TABLE.

**MAINTENANCE:**

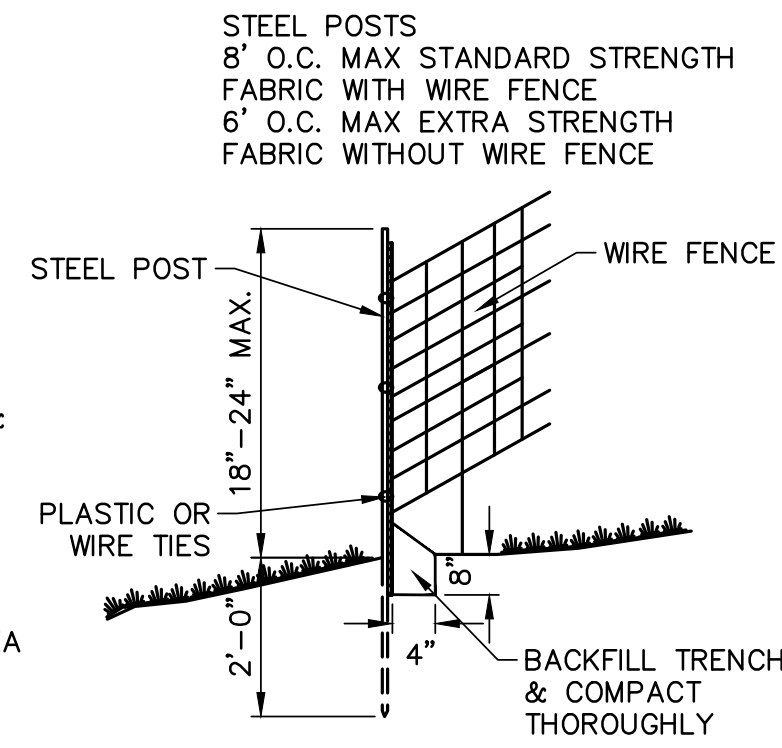
MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THE MAY REQUIRE PERIODIC TOP DRESSING WITH 2-INCH STONE. AFTER EACH RAINFALL, INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT & CLEAN IT OUT AS NECESSARY. IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED OR TRACKED ONTO PUBLIC ROADWAYS.

**TEMPORARY CONSTRUCTION ENTRANCE**

NTS

**MAINTENANCE**

1. INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK & AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
2. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.
3. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN & TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEAN OUT.
4. REMOVE ALL FENCING MATERIALS & UNSTABLE SEDIMENT DEPOSITS & BRING THE AREA TO GRADE & STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.



**CONSTRUCTION SPECIFICATIONS**

1. CONSTRUCT THE SEDIMENT BARRIER OF STANDARD STRENGTH OR EXTRA STRENGTH SYNTHETIC FABRICS.
2. ENSURE THAT THE HEIGHT OF THE SEDIMENT FENCE DOES NOT EXCEED 24" ABOVE THE GROUND SURFACE. (HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE.)
3. CONSTRUCT THE FILTER FABRIC FROM A CONTINUOUS ROLL CUT TO LENGTH OF THE BARRIER TO AVOID JOINTS. WHEN JOINTS ARE NECESSARY, SECURELY FASTEN THE FILTER CLOTH ONLY AT A SUPPORT POST WITH 4 FEET MINIMUM OVERLAP TO THE NEXT POST.
4. SUPPORT STANDARD STRENGTH FILTER FABRIC BY WIRE MESH FASTENED SECURELY TO THE UP SLOPE SIDE OF THE POSTS. EXTEND THE WIRE MESH SUPPORT TO THE BOTTOM OF THE TRENCH. FASTEN THE WIRE REINFORCEMENT, THEN FABRIC ON THE UP SLOPE SIDE OF THE FENCE POST. WIRE OR PLASTIC ZIP TIES SHOULD HAVE A MINIMUM 50 LB TENSILE STRENGTH.
5. EXTRA STRENGTH FILTER FABRIC WITH 6' POST SPACING DOES NOT REQUIRE WIRE MESH SUPPORT FENCE. SECURELY FASTEN THE FILTER FABRIC DIRECTLY TO POSTS. WIRE OR PLASTIC ZIP TIES SHOULD HAVE MINIMUM 50 LBS TENSILE STRENGTH.
6. EXTRA STRENGTH FILTER FABRIC WITH 6' POST SPACING DOES NOT REQUIRE WIRE MESH SUPPORT FENCE. SECURELY FASTEN THE FILTER FABRIC DIRECTLY TO POSTS. WIRE OR PLASTIC ZIP TIES SHOULD HAVE MINIMUM 50 LBS TENSILE STRENGTH.
7. EXCAVATE A TRENCH APPROXIMATELY 4" WIDE & 8" DEEP ALONG THE PROPOSED LINE POSTS & UP SLOPE FROM THE BARRIER.
8. PLACE 12" OF THE FABRIC ALONG THE BOTTOM & THE SIDE OF THE TRENCH.
9. BACKFILL THE TRENCH WITH SOIL PLACED THE FILTER FABRIC & COMPACT. THOROUGH COMPACTION OF THE BACKFILL IS CRITICAL TO SILT FENCE PERFORMANCE.
10. DO NOT ATTACH FILTER FABRIC TO EXISTING TREES.

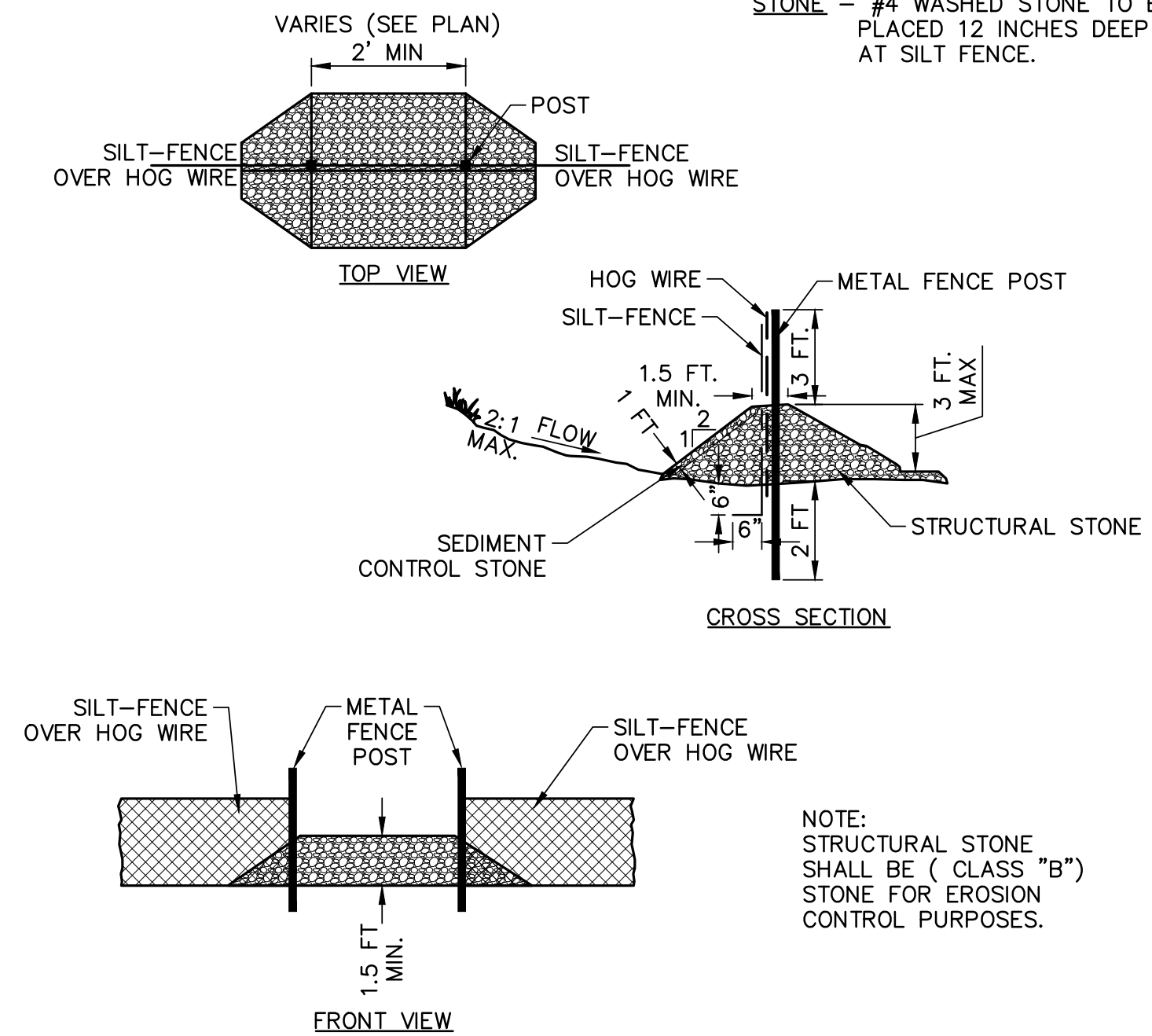
**TEMPORARY SILT FENCE**

NTS

MAXIMUM PLACEMENT OF POST USING HOGWIRE WITH APPROVED EROSION CONTROL FABRICS TO BE 10 FEET.

MAXIMUM PLACEMENT OF POST WITHOUT HOG WIRE USING APPROVED EROSION CONTROL FABRICS TO BE 6 FEET TO 8 FEET APART.

- POST - METAL T-POST 5 FEET OR 6 FEET IN HEIGHT DEPENDING ON FILL SLOPE.
- FABRIC - 36 INCHES IN WIDTH (MUST MEET ENGINEERS SPECIFICATIONS FOR EROSION CONTROL).
- STONE - #4 WASHED STONE TO BE PLACED 12 INCHES DEEP AT SILT FENCE.



**SILT FENCE STONE OUTLET**

NTS

NOTE:  
STRUCTURAL STONE SHALL BE ( CLASS "B" ) STONE FOR EROSION CONTROL PURPOSES.

DRAWING NAME: F:\2023\230140\Civil\230140-Cover.dwg - CS-2 EROSION CONTROL DETAILS - 1/10/2024 2:40 PM

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1				DATE	DEC 2023
2				DESIGNED	JDJ
3				DRAWN	JDJ
4				CHECKED	EM
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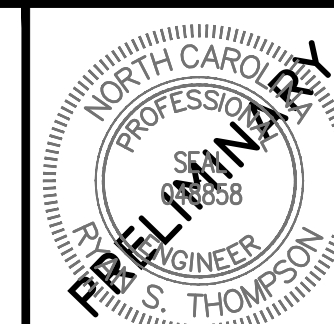
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EROSION CONTROL DETAILS  
CREEDMOOR SITE  
DAVID MILLER ASSOCIATES  
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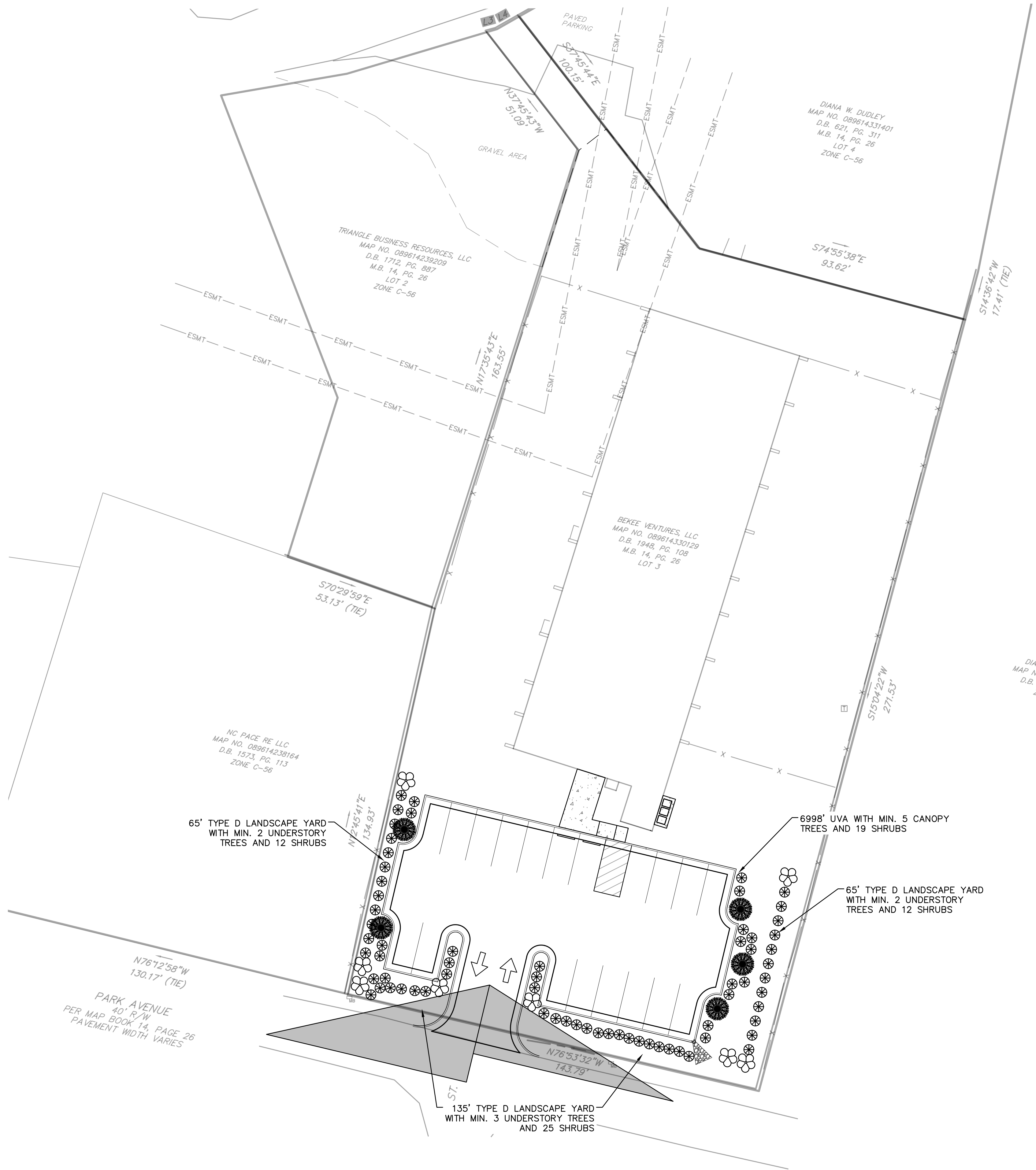
SHEET NO.

C5.2

OF \_\_\_\_



DRAWING NAME: F:\2023\230140\230140-01.dwg - L.O. LANDSCAPE PLAN - 1/10/2024 2:40 PM



**CANOPY TREE SIZE:**  
CANOPY TREES MUST HAVE A MINIMUM HEIGHT AT MATURITY OF 40 FEET AND A MINIMUM CROWN WIDTH OF 30'. DROUGHT-TOLERANT CANOPY TREES MUST HAVE A MINIMUM CALIPER SIZE OF 2 INCHES. OTHER CANOPY TREES MUST HAVE A MINIMUM CALIPER SIZE OF 3 INCHES.


**UNDERSTORY TREE SIZES:**  
UNDERSTORY TREES MUST HAVE A MINIMUM HEIGHT AT MATURITY OF 25 TO 40 FEET EXCEPT THAT TREES PLACED BELOW OVERHEAD UTILITY LINES MAY NOT EXCEED A MATURE HEIGHT OF 20 FEET. DROUGHT-TOLERANT UNDERSTORY TREES MUST HAVE A MINIMUM CALIPER SIZE OF 1 INCH. OTHER UNDERSTORY TREES MUST HAVE A MINIMUM CALIPER SIZE OF 2 INCHES.


**SHRUB SIZE AND TYPE:**  
SHRUBS LOCATED PARALLEL TO THE EDGE OF PARKING LOTS, ACCESS DRIVES, LOADING AND UNLOADING AREAS AND OUTDOOR STORAGE MUST BE EVERGREEN WITH A MINIMUM HEIGHT OR SPREAD OF 18 INCHES AT THE TIME OF PLANTING AND REACH A MINIMUM HEIGHT 26 INCHES AND A MINIMUM SPREAD OF 30 INCHES UPON MATURITY. ALL OTHER REQUIRED SHRUBS MAY BE EVERGREEN OR DECIDUOUS AND MUST BE AT LEAST 3 GALLON IN SIZE (PER ANSI STANDARDS) AT THE TIME OF PLANTING.


**CONCEPTUAL LANDSCAPE PLAN:**  
THIS IS A CONCEPTUAL LANDSCAPE PLAN. THE APPLICANT MUST SUBMIT A DETAILED LANDSCAPE PLAN (WHICH DEPICTS THE PLANTS TYPES AND LOCATIONS) WITHIN 90 DAYS FROM THE ISSUANCE OF THE BUILDING PERMIT, FOR REVIEW BY THE PLANNING DEPARTMENT. THE LANDSCAPE PLAN MUST BE APPROVED BY THE PLANNING DEPARTMENT PRIOR TO RECEIVING AN INSPECTION FOR THE CERTIFICATE OF OCCUPANCY.

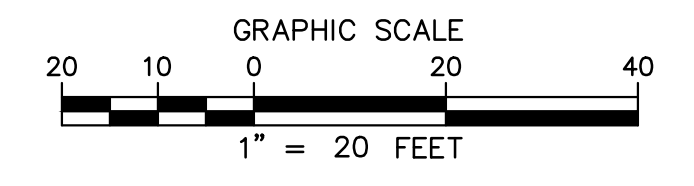
- GENERAL NOTES:**
- CONTRACTOR TO PRESERVE ANY EXISTING LANDSCAPING TO REDUCE AMOUNT NEEDED FOR PROPOSED LANDSCAPING
  - TYPE A PLANTING YARDS REQUIRE AT LEAST ONE ROW OF EVERGREEN SHRUBS OR UNDERSTORY TREES WITH CANOPY TREES 25 FEET ON CENTER, UNDERSTORY TREES 10 FEET ON CENTER, AND SHRUBS 3 FEET ON CENTER

**LANDSCAPE KEY:**

CANOPY TREE (RED MAPLE-ACER RUBRUM): 

UNDERSTORY TREE (FLOWERING DOGWOOD-CORNUS FLORIDA): 

SHRUB (DWARF BURFORD HOLLY-ILEX CORNUTA "BURFORDII" NANA): 



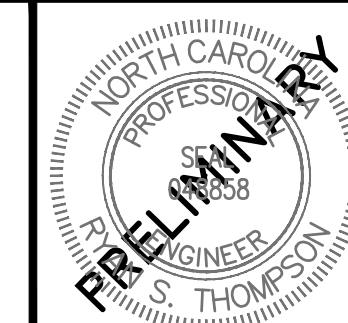
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**LANDSCAPE PLAN**  
CREEDMOOR SITE  
DAVID MILLER ASSOCIATES  
109 PARK AVE  
CREEDMOOR, NORTH CAROLINA, 27522

SHEET NO. **L.0**  
OF \_\_\_



# CITY OF CREEDMOOR

P.O. BOX 765  
111 MASONIC STREET  
CREEDMOOR, NC 27522  
WWW.CITYOFCREEDMOOR.ORG  
(919) 528-3332

**MAYOR**  
ROBERT V. WHEELER

**CITY MANAGER**  
MICHAEL O. TURNER

**COMMISSIONERS**  
EMMA ALBRIGHT  
ED GLEASON  
GEORGANA KICINSKI  
ROBERT WAY  
ARCHER WILKINS

## Site Plan Review Memorandum #1

**TO:** Dr. David Miller  
11330 Vanstory Drive  
Huntersville, NC 28078  
(704) 605-9891  
[davidmillerassociatesllc@gmail.com](mailto:davidmillerassociatesllc@gmail.com)

Jacob Jayne  
Davis Martin Powell  
6415 Old Plank Road  
High Point, NC 27265  
(336) 819-8475 ext.475  
[jjayne@dmp-inc.com](mailto:jjayne@dmp-inc.com)

**FROM:** City of Creedmoor Community Development Department  
Michael S. Frangos AICP, CZO  
Community Development Director  
(919) 764-1016  
[mfrangos@cityofcreedmoor.org](mailto:mfrangos@cityofcreedmoor.org)

**DATE:** January 8, 2024

**RE:** LSP-2023-02, David Miller Associates – 109 Park Avenue  
Site Plan Review Comments

**Creedmoor Community Development Department**      **--Michael S. Frangos, AICP, CZO**  
**--Carl Barclay, P.E.**

1. Fees Due: Large Site Plan Review Fee (\$600) + Sketch plan review Fee (\$100) = \$700 Fee Due
2. Medical, Dental or Related Office is a use permitted by right in the C-56 Commercial zoning district.
3. Large Site Plan approval from the Board of Commissioners is required.
4. Sheet No. C1.0 - Correct the lot ownership label on the neighboring 105 Park Avenue, currently owned by NC PACE RE LLC.
5. Sheet No. C1.0 - Quantify impervious area to be removed
6. Sheet No. C2.0 – Align new driveway with Grey Street intersection
7. Sheet No. C2.0 – Identify new light fixtures to be LED full cut-off.
8. Sheet No. C2.0 – General Note #24 is incorrect. Duke Energy Progress will provide a site lighting plan.

9. Sheet No. C2.0 – show Site Keynote #1 as designated stormwater discharge point and illustrate outfall treatment from parking lot to roadside ditch.
10. Sheet No. C2.0 – alter dumpster location off SGWASA easement. Either move it closer to Douglas Drive or closer to the building.
11. Sheet No. C6.0 – Typical “standard” duty pavement? Or Light Duty Pavement Sheet No. C2.1?
12. Sheet No. L1.0 – Species directory for canopy, understory and shrubs.

**Stimmel Engineering-Ben Healy**

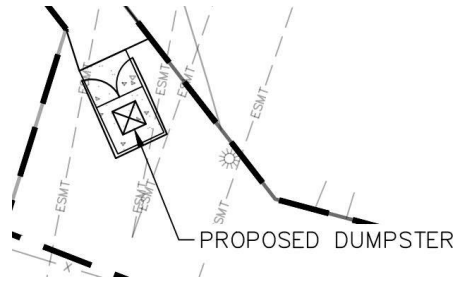
13. The project does not have a net increase of BUA and is not required to meet the Falls Lake nutrient loading requirements or City of Creemore stormwater requirements. Please note that any additional impervious would require a stormwater plan and calculations and those calculations may require a permanent stormwater control measure to be installed.

**Wooten-Ana M. Wadsworth, P.E.**

14. Per the Town of Creedmoor’s Large Site Plan Application Checklist the following items are still outstanding:
  - Property Boundary/ROW do not list metes and bounds.
  - Adjacent zoning is missing.
  - Landscape plans do not list species proposed.
  - Sight Distance Triangles
15. The proposed dumpster is placed within the existing sewer easement. Should this be relocated outside of those limits? How is a truck able to access dumpster and is it able to back out that distance?
16. Site driveway should be aligned with existing Grey Street
17. Label dimensions of ADA accessible parking areas and striped walkways.
18. Recommend using heavy duty pavement for drive to dumpster location.
19. Provide spot elevations at corners of all ADA parking areas to ensure a 2% max slope in all directions.
20. Recommend adding spot elevations at dumpster pad to avoid ponding.
21. Provide invert elevations for proposed driveway cross pipe.
22. Erosion control plan/devices are not included in this plan set. Please provide erosion control devices and a total disturbance area.

**SGWASA – Scott N. Schroyer, Executive Director**

23. Following my review, one item that conflicts with SGWASA’s Water & Sewer Design Standards is related to the proposed garbage dumpster (see image below) that is placed directly on top of SGWASA’s utility easements. In summary, our Design Standards state: No permanent structure or impoundment shall be constructed on water line/sewer line easement or mains.



SGWASA will not permit the garbage dumpster to be placed on top of the existing utility easements, and therefore, the design engineer needs to relocate this item so it is not in conflict with any utility easements. I look forward to receiving the next set of plans that shows the garbage dumpster removed from the utility easements. Please provide me with an update plan set when they are available.

**Next Steps:**

24. Please pay large site plan review fee.
25. Please apply relevant revisions to the site plan, and re-submit.
26. The expected Planning Board session to present your site plan will be scheduled. Expect to present plans before the Planning Board and receive feedback. Comments and feedback from the Planning Board will be shared with the Board of Commissioners.
27. The expected Board of Commissioners meeting will be scheduled. Expect to present plans before the Board of Commissioners and be present during their deliberations and subsequent decision.



Doc ID: 003764550002 Type: CRP  
Recorded: 05/24/2023 at 03:16:42 PM  
Fee Amt: \$699.00 Page 1 of 2  
Revenue Tax: \$673.00  
Granville County, NC  
Kathy M. Taylor Reg of Deeds

BK **1948** PG **108-109**

**NORTH CAROLINA GENERAL WARRANTY DEED**

Excise Tax: \$673.00

Parcel Identifier No. 089614330129 Verified by \_\_\_\_\_ County on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_  
By: \_\_\_\_\_

Mail/Box to: **Grantee, 503 W. McGee Street, Greensboro, NC 27401**

This instrument was prepared by: **Jason A. Knight, North Carolina Attorney at Law. Delinquent taxes, if any, to be paid by the closing attorney to the county tax collector upon disbursement of closing proceeds. (WITHOUT TITLE EXAMINATION)**

Brief description for the Index: **109 Park Avenue, Creedmoor, NC 27522**

THIS DEED made this 24<sup>th</sup> day of May 2023, by and between

GRANTOR	GRANTEE
<b>CITY OF CREEDMOOR</b>	<b>BEKEE VENTURES, LLC a North Carolina Limited Liability Company</b>
	Property Address:
	<b>109 Park Avenue Creedmoor, North Carolina 27522</b>

Enter in appropriate block for each Grantor and Grantee: name, mailing address, and, if appropriate, character of entity, e.g. corporation or partnership.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land situated in the city of **Creedmoor, Dutchville Township, Granville County, North Carolina** and more particularly described as follows:

**BEING all of Lot #3, containing 0.9537 acres, as shown on survey and plat of James R. Wilson, R.L.S., entitled "Survey for Colony Square," dated October 22, 1992, of record in Map Book 14, page 26, Granville County Registry.**

**For further reference, see deed of record in Book 675, Page 400, Granville County Registry. The property herein described is known as 109 Park Avenue, Creedmoor, NC.**

The property hereinabove described was acquired by Grantor by instrument recorded in Book 1770 page 186.

All or a portion of the property herein conveyed \_\_\_ includes or X does not include the primary residence of a Grantor.

A map showing the above-described property is recorded in Plat Book 14 page 26.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever, other than the following exceptions:

**All valid and existing easements, restrictions, and rights of way of record, if any, applicable to the subject property and to ad valorem taxes for the current year.**

IN WITNESS WHEREOF, the Grantor has duly executed the foregoing as of the day and year first above written.

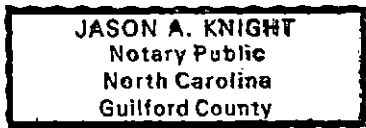
**CITY OF CREEDMOOR**

*Michael O. Turner* (SEAL)  
By: **Michael O. Turner**  
Its: **City Manager**

State of North Carolina - County of Granville

I certify that the following person(s) personally appeared before me this day, each acknowledging to me that he or she signed the foregoing document: **Michael O. Turner, Creedmoor City Manager.**

Witness my hand and official stamp or seal, this 24<sup>th</sup> day of May 2023.



*Jason A. Knight*  
Jason A. Knight, Notary Public

My Commission Expires: October 19, 2024

<b>01/24/2024 01:07 OWNERSHIP 1100703</b>	<b>PROPERTY DESCRIPTION</b>	<b>TAX DESCRIPTION</b>	<b>MAP NUMBER</b>	<b>CARD#</b>
BEKEE VENTURES LLC 109 PARK AVE CREEDMOOR, NC 27522-9751 DEED: 01948 0108 5/24/2023 \$336,500	LOT 3 COLONY SQUARE PLATBOOK/PAGE/DATE: 00014 00026 NB: 028 COMMERCIAL CREEDMOOR AVERAGE 109 PARK AVE	DUTCHVILLE CREEDMOOR	089614330129 RECORD NUMBER: 22275 ROUTE: 089614 114 LISTER: REV REVIEWER:	1 / 1

<b>TOPO</b>	<b>STREET</b>	<b>UTILITIES</b>	<b>NOTES</b>	<b>AC</b>						
			CREEDMOOR ELEM SCHOOL ANNEX CENTER FOR INNOVATIVE LEARNING	0.9500						
<b>#</b>	<b>LAND CLASS</b>	<b>SIZE</b>	<b>BASERATE</b> *	<b>ACF</b> *	<b>ADJ</b>	=	<b>ADJ RATE</b> *	<b>UNITS</b>	=	<b>LNDVALUE</b>
1	51NCOMMERCIAL	0.950	54500	1.03	1.00		56135	0.950		53328
<b>ACREAGE FACTOR:</b>		0	<b>FRONTAGE FACTOR:</b>		0	<b>LAND VALUE</b>		<b>53328</b>		

<b>#</b>	<b>OTHER FEATURES</b>	<b>SIZE</b>	<b>BASERATE</b>	<b>COND</b>	<b>ADJ RATE</b>	<b>UNITS</b>	<b>VALUE</b>
1	81 CHAIN LINK FENCE	1 * 1	2000.00	0.00	2000.00	1	2000
<b>OTHER FEATURES VALUE: 2000</b>							

<b>FOUNDATION</b>	<b>XTR_FINISH</b>	<b>ROOF TYPE</b>	<b>ROOF MTRL</b>	<b>SIZE/QTY</b>
BRICK CW	BRICK	FLAT	BUILT UP	1.0000 STHT 0 BDRM
<b>WALL FINSH</b>	<b>FLOORS</b>	<b>HEAT&amp;AIR</b>	<b>HEAT FUEL</b>	<b>BLDING #</b>
DRYWALL	HARDWOOD CONCRETE	HEAT & AIR	ELECTRIC	1

<b>IMPROVEMENT TYPE:</b>	EXEMPT	<b>GRADE:</b>	C-5	<b>AYB:</b>	1901	<b>EYB:</b>	1978	<b>CONDITION:</b>	COMMERCIAL AVERAGE	<b>DEPR TABLE:</b>	8	<b>SQ FT TABLE:</b>	
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<b>DIMENSIONS:</b>	SFR-CL40U30R40D12R2D7L2D11 OFP-CL40D8R40U8 WDK-L40CU38XL6D8XD30XD8R6XU8 OFP-U30CR40U8L40D8H												
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<b>STRUCTURE</b>	<b>SKETCH-SF</b> *	<b>STHT</b>	=	<b>AREA</b>	<b>RATE</b> *	<b>GRDE</b> +	<b>HEAT</b> +	<b>EXWL</b> *	<b>WLHT</b>	=	<b>ADJRATE</b> *	<b>AREA</b>	=	<b>RPCN</b> *	<b>DEPF</b> *	<b>CNDF</b>	=	<b>STR-VALUE</b>
22 OFFICE	8424	1.00		8424	90.88	C 0.95	2.50	2.50	1.00		91.34	8424		769448	0.45	0.6000		207751
	8424	HSF		8424	TSF						RPCN- 91.34/HSF			769448	VALU-	24.66/HSF		207751

<b>STRUCTURE VALUE</b>																		<b>191131</b>
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<b>CARD 1 VALUE</b>																		<b>246459</b>
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<b>VALUATION</b>	<b>THIS CARD</b>	<b>+</b>	<b>OTHER CARD</b>	<b>=</b>	<b>VALUE</b>	<b>PREV-VAL</b>	<b>P-N%</b>	<b>OTHER CARDS VALUE</b>										
LAND	53328				53328	53328	1.00	<b>TOTAL VALUE</b>										
OTHER FEAT	2000				2000	2000	1.00	<b>246459</b>										
STRUCTURE	191131				191131	162548	0.85											
<b>TOTAL</b>	246459				246459	217876	1.13	<b>NBHD ADJUSTMENT: 1.000 * 246459 = 246459</b>										

<b>Granville County, NC</b>	<b>TAX YEAR: 2024</b>	<b>(1517278) Group:0</b>	<b>APPRAISED VALUE</b>	246459
	<b>REVAL YEAR: 2018</b>	<b>DEFERRED VALUE</b>	<b>TAXABLE VALUE</b>	246459